



GREEN LAKE COUNTY

571 County Road A, Green Lake, WI 54941

Original Post Date: 05/27/2021

Amended* Post Date:

The following documents are included in the packet for the Property and Insurance Committee on June 1, 2021:

- 1) *Amended Agenda
- 2) Minutes from May 4, 2021
- 3) Resolution Relating to Government Center Circuit Court Systems Updates
- 4) Fox River Industries Roof Project Bids
- 5) Maintenance Report



GREEN LAKE COUNTY OFFICE OF THE COUNTY CLERK

Elizabeth Otto
County Clerk

Office: 920-294-4005
FAX: 920-294-4009

Property & Insurance Committee Meeting Notice

Date: June 1, 2021 Time: 4:30 PM

Location: Government Center, County Board Room, 571 County Road A, Green Lake WI

Amended* AGENDA

Committee Members

David Abendroth, Chair
Charles Buss
Patti Garro
Richard Trochinski
Keith Hess

Elizabeth Otto,
Secretary

1. Call to Order
2. Certification of Open Meeting Law
3. Pledge of Allegiance
4. Approval of Minutes: 05/04/2021
5. Public Comment
6. Use of County Property
 - 2021 Catamaran Regatta
7. Resolutions
 - Relating to Government Center Circuit Court Systems Updates
8. *Fox River Industries Roof Project
9. Maintenance Report
 - Buildings and Grounds Report
 - Monthly Activities
10. Committee Discussion
 - Future Meeting Dates: Regular Meeting 07/06/2021 at 4:30 PM
 - Future Agenda items for action & discussion
11. Adjourn

Due to the COVID-19 pandemic, this meeting will be conducted and available through in person attendance (6 ft. social distancing and face masks are required for individuals who are **not** vaccinated) or audio/visual communication. Remote access can be obtained through the following link:

Topic: Property and Insurance

Time: Jun 1, 2021 04:30 PM Central Time (US and Canada)

Join Zoom Meeting

<https://zoom.us/j/92671548598?pwd=LzNZSzB2TEE4RVNhQUUwNVFzOTFKdz09>

Meeting ID: 926 7154 8598

Passcode: 373843

Dial by your location

+1 929 436 2866 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

Kindly arrange to be present, if unable to do so, please notify our office. Sincerely, Elizabeth Otto, County Clerk

Please note: Meeting area is accessible to the physically disabled. Anyone planning to attend who needs visual or audio assistance, should contact the County Clerk's Office, 294-4005, not later than 3 days before date of the meeting.

PROPERTY AND INSURANCE COMMITTEE

May 4, 2021

The meeting of the Property and Insurance Committee was called to order by Chair Abendroth on Tuesday, May 4, 2021 at 4:30 PM in the Green Lake County Board Room, Green Lake County Government Center, 571 County Road A, Green Lake, WI. The meeting was held both in person and via Zoom. Requirements of the open meeting law were certified as being met. The pledge of allegiance was recited.

Present: Dave Abendroth
Chuck Buss
Patti Garro
Richard Trochinski

Absent: Keith Hess

Other County employees present: Cathy Schmit, County Administrator (Zoom); Scott Weir, Maintenance Supervisor; Liz Otto, County Clerk; Harley Reabe, County Board Chair

MINUTES

Motion/second (Garro/Trochinski) to approve the minutes of April 6, 2021. Motion carried with no negative vote.

PUBLIC COMMENT - none

APPEARANCES

- **Josh Dirkse and Karen Flynn, Wisconsin County Mutual Insurance – overview of county policies**
Josh Dirkse and Karen Flynn of Wisconsin County Mutual Insurance gave a PowerPoint presentation via Zoom to update the committee on the services offered through WCMI and the various coverages that Green Lake County currently has. Questions and discussion followed.

MAINTENANCE REPORT

- Buildings and Grounds Report – Maintenance Supervisor Scott Weir had no additions or corrections to his written report.
- Monthly activities

COMMITTEE DISCUSSION

Future Meeting Date: June 1, 2021 at 4:30 PM.

Future Agenda items for action & discussion:

ADJOURNMENT

Chair Abendroth adjourned the meeting at 5:09 PM.

Submitted by,

Liz Otto
County Clerk

RESOLUTION NUMBER -2021

Relating to Government Center Circuit Court Systems Updates

The County Board of Supervisors of Green Lake County, Green Lake, Wisconsin, duly assembled at its regular meeting begun on the 15th day of June 2021, does resolve as follows:

- 1 **WHEREAS**, Green Lake County is committed to protecting the safety of all employees
- 2 and constituents who occupy and conduct business in the Green Lake County
- 3 Government Center, and
- 4 **WHEREAS**, certain Government Center safety risk concerns and equipment
- 5 obsolescence and deficiencies have been identified, and
- 6 **WHEREAS**, in December 2017, the Green Lake County Board approved a budget
- 7 adjustment allocating funds for the purposes of a four-part security study by Potter
- 8 Lawson to address a multitude of security concerns, and

Majority vote is needed to pass.

Approved by Finance

Disapproved by Finance

Roll Call on Resolution No. -2021

Submitted by P & I Committee:

Ayes , Nays , Absent , Abstain

Passed and Adopted/Rejected this 15th day of June 2021.

Dave Abendroth, Chair

Charles Buss

County Board Chairman

Patti Garro

ATTEST: County Clerk
Approve as to Form:

Richard Trochinski

Corporation Counsel

Keith Hess

9 **WHEREAS**, Potter Lawson has completed the security study and along with their sub-
10 contracted partner IMEG, Corp. have presented its findings and recommendations to
11 the County along with the projected estimated costs associated with the
12 recommendations for security, audio, visual and equipment upgrades to obsolete
13 equipment in the Green Lake County Circuit Courts area of the Government Center,
14 and

15 **WHEREAS**, the Green Lake County Board adopted Resolution # 38-2018 approving
16 security and systems updates to other areas throughout the Government Center, and

17 **WHEREAS**, Green Lake County adopted Ordinance Number 677-99 imposing a 0.5
18 percent County Sales/Use Tax for the purpose of debt retirement incurred for
19 construction of a new facility and/or remodeling of the existing facilities.

20 **NOW THEREFORE BE IT RESOLVED** that the Green Lake County Board of
21 Supervisors does hereby approve the attached schedule of security, audio, visual and
22 equipment updates and associated estimated costs, and

23 **BE IT FURTHER RESOLVED** that these improvements are determined to be new
24 systems/construction or are related to replacement or improvement of original but now
25 obsolete systems/construction and therefore qualify as an appropriate use of County
26 Sales/Use Tax revenue reserves.

27 **Fiscal Note:** Approved improvement(s) total costs will be paid using County Sales/Use
28 Tax Revenue proceeds in an amount not to exceed \$460,200.

29 Please see the attached Schedule of Improvements.

Green Lake County Circuit Court Update Schedule

Audio/Video Upgrade	\$338,130
Alternate 1: Quad View to Chamber	\$ 3,134
Alternate 2: Quad View to Work Room	\$ 3,134
Alternate 3: Motorized Screens	\$ 17,957
Alternate 4: Fixed Frame Screens	\$ 6,864
Alternate 5: Display Court A	\$ 10,315
Alternate 6: Codec Update	\$ 15,988
Alternate 7: Wireless Presentation	\$ 8,194
Alternate 8: Annual Service Contract:	\$ 14,600
10% Project Contingency	<u>\$ 41,850</u>
Total Est.	\$460,166



CUSTOFOAM

ROOFING SOLUTIONS

N4929 STATE ROAD 58, MAUSTON, WI, 53948

Phone: 608-847-7447, Fax: 608-847-6739



Fox River Industries Building



CUSTOFOAM

ROOFING SOLUTIONS

N4929 STATE ROAD 58, MAUSTON, WI, 53948
Phone: 608-847-7447, Fax: 608-847-6739

PROPOSAL

March 25, 2021

Project: See Map

Client: Green Lake County
571 County Rd A
Green Lake, WI 54941
Attn: Scott Weir

CONTRACT

Custofoam Roofing Solutions agrees to provide all necessary labor, equipment, and materials in accordance with the attached project details, drawings, and additional specifications as may be needed and initiated by the parties and attached hereto. Any alteration or deviation from the attached details, specifications, and drawings which work shall be paid in full at completion of such work. Custof foam Roofing Solutions cannot be held responsible for any delays that may occur caused by weather or outside sources by which Custof foam Roofing Solutions has no control over. Owner will be responsible for building permit.

SCOPE OF WORK

- Prior to the start of the Custof foam Roofing Solutions will meet with owner representative to complete a pre-job meeting to determine jobsite logistics and assure that all safety policies are adhered to.
- Provide necessary equipment, material, & labor to complete scope of work below.
- Install 1# EPS flute fillers.
- Mechanically Fasten ½" fiberboard.
- Provide & Install approx. 8,3250 Sq. Ft. of new Carlisle 45 Mil TPO roof system
 - o Mechanically Fastened
 - o Heat Welded Seams
 - o All membrane & accessories to be installed per manufacturer's specifications
- Provide & install Carlisle TPO roofing accessories
- Provide & install new termination bar around perimeter.
- Provide 15-year total systems manufacturer's warranty.
- Trowel on Silicone where red line is on map to try and divert water.
- Perform final clean-up and dispose of any job-related debris.

Total Price for the above described work: \$ 38,412.00



CUSTOFOAM

ROOFING SOLUTIONS

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Phone: 608-847-7447, Fax: 608-847-6739

EXCLUSION(S)

- We exclude metal deck replacement, for an additional price it will be done at \$12.50 Sq. Ft.
- We exclude wet or damaged insulation replacement over & above what is in the quote, for an additional price it will be done \$2.50 Sq. Ft.
- We exclude any removal of water, snow, or ice necessary to complete our work
- We exclude any raising of HVAC units due to new roof height but can be done for an additional time and material basis.
- We exclude any raising, connecting, and disconnecting any gas line, this will be owner's responsibility.
- We exclude any electrical work associated with the roofing project; this will be owner's responsibility.
- We exclude any structural steel renovations or installations required to perform our work.
- We reserve the right to pass on any Manufacturer price increases.
- Custoforam Roofing Solutions will not be responsible for any waste or debris (i.e., dust particles, pre-existing deterioration underlayment, insulation fragments, etc.) that is generated on the interior of the building as a result of the project scope. It is the responsibility of the client/tenant/building owner to cover and protect all the property within the interior of the building (i.e., furnishings, equipment, inventory, etc.).

PAYMENTS

The owner agrees to pay any and all payments according to the payment scheduled listed below. Should said payment(s) not be made, or if satisfactory arrangements for payments have not been made, Custoforam Roofing Solutions reserves the right to stop work until such time as payment is rendered or satisfactory arrangements have been made.

TERMS:

Custoforam Roofing Solutions will require 1/3 down of project value to secure agreement for scheduling and project coordination. The remaining contract will be billed in progress payments with a Net 15 days payment terms. Client agrees to pay interest at 1-1/2% per month, 18% A.P.R. and collection costs, including attorney fees, and other reasonable expenses of collection on all money not received when due.

REFERENCES

We have for your review a list (upon request) of references which we strongly encourage your pursuit to confirm our confidence in the services and quality offered by Custoforam Roofing Solutions.

All the procedures and systems listed above are designed to give outstanding performance and durability. Our proposal is based on these systems.

We wish to express our sincere gratitude for the kind consideration you have extended in providing this opportunity for our company to display its skills and abilities.

As required by the Wisconsin Construction Lien Law, builder here by notifies owner that persons or companies furnishing labor or materials for the construction on owner's land may have lien right on owner's land and buildings, if not paid. Those entitled to lien rights, in addition to the undersigned builder, are those who contract directly with the owner or those who give the owner notice within 60 days after they first furnish labor or materials for the construction. Accordingly, owner will receive notice from those who furnish labor or materials for the construction and should give a copy of each notice received to his mortgage lender, if any. Builder agrees to cooperate with the owner and his lender, if any, to see that all potential lien claimants are duly paid.

Authorized Signature: *Adam Buchmeier*

For Custoforam Roofing Solutions

Adam Buchmeier

Chief Operating Officer

NOTE: This proposal may be withdrawn if not accepted within 30 days.

ACCEPTANCE OF PROPOSAL

I hereby certify that the above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Title _____

Date _____

DESIGN/INSTALL

www.Custoforam.com

ROOFING & INSUALTION

WARRANTY NO.:**BUILDING OWNER:****NAME OF BUILDING:****BUILDING ADDRESS:****DATE OF COMPLETION OF THE CARLISLE TOTAL ROOFING SYSTEM:****DATE OF ISSUE:**

Carlisle Roofing Systems, Inc., (Carlisle) warrants to the Building Owner (Owner) of the above described building, that; subject to the terms, conditions, and limitations stated in this warranty, Carlisle will repair any leak in the Carlisle Roofing System (Carlisle Total Roofing System) installed by a Carlisle Authorized Roofing Applicator for a period of -- years, commencing with the date of Carlisle's acceptance of the Carlisle Total Roofing System installation. However, in no event shall Carlisle's obligations extend beyond -- years, subsequent to the date of substantial completion of the Carlisle Total Roofing System. See below for exact date of warranty expiration.

The Carlisle Total Roofing System is defined as the following Carlisle brand materials: Membrane, Flashings, Adhesives and Sealants, Insulation, Cover Boards, Fasteners, Fastener Plates, Fastening Bars, Insulation Adhesives and any other Carlisle brand products utilized in this installation.

TERMS, CONDITIONS, LIMITATIONS

1. Owner shall provide Carlisle with written notice via letter, fax or email within thirty (30) days of any leak in the Carlisle Total Roofing System. Owner should send written notice of a leak to Carlisle's Warranty Services Department at the address set forth at the bottom of this warranty. By so notifying Carlisle, the Owner authorizes Carlisle or its designee to investigate the cause of the leak. Should the investigation reveal the cause of the leak to be outside the scope of this Warranty, investigation and repair costs for this service shall be paid by the Owner.
2. If, upon inspection, Carlisle determines that the leak is caused by a defect in the Carlisle Total Roofing System's materials, or workmanship of the Carlisle Authorized Roofing Applicator in installing the same, Owner's remedies and Carlisle's liability shall be limited to Carlisle's repair of the leak. Carlisle shall have sole responsibility in determining the method of repair of the area.
3. This warranty shall not be applicable if, upon Carlisle's inspection, Carlisle determines that any of the following has occurred:
 - (a) The Carlisle Total Roofing System is damaged by: natural disasters, lightning, fire, insects, animals, windblown debris or objects, earthquakes, tornados, hail, hurricanes, and winds of (3 second) peak gust speeds of -- mph or higher measured at 10 meters above ground; or
 - (b) Loss of integrity of the building envelope and/or structure, including, but not limited to, partial or complete loss of roof decking, wall siding, windows, roof top units, doors or other envelope components; or
 - (c) All associated building components, including but not limited to the deck substrate, joists, columns and foundation, must also meet wind speed design requirements.
 - (d) The Carlisle Total Roofing System is damaged by any acts, accidents, misuse, abuse, vandalism, civil disobedience or the like; or
 - (e) Deterioration or failure of building components, including, but not limited to, the roof substrate, walls, mortar, HVAC units, non Carlisle brand metal work, etc., occurs and causes a leak, or otherwise damages the Carlisle Total Roofing System; or
 - (f) Deterioration of metal materials and accessories caused by marine salt water, atmosphere, or by regular spray of either salt or fresh water; or

- (g) Acids, oils, harmful chemicals and the like come in contact with the Carlisle Total Roofing System and cause a leak, or otherwise damage the Carlisle Total Roofing System; or
- (h) The Carlisle Total Roofing System encounters leaks or is otherwise damaged by condensation resulting from any condition within the building that may generate moisture; or
- (i) The Carlisle Authorized Applicator or any additional contractor or subcontractor failed to follow Carlisle's published specifications and details for the approved system assembly or failure to correct all installation deficiencies listed in any Carlisle inspection report.

4. This Warranty shall be null and void if any of the following shall occur:

- (a) If, after installation of the Carlisle Total Roofing System by a Carlisle Authorized Roofing Applicator, there are any alterations or repairs made on or through the roof or objects such as, but not limited to, structures, fixtures, solar arrays, wind turbines, roof gardens or utilities are placed upon or attached to the roof without first obtaining written authorization from Carlisle; or
- (b) Failure by the Owner to use reasonable care in maintaining the roof, said maintenance to include, but not be limited to, those items listed on Carlisle's Care & Maintenance Guide which accompanies this Warranty.

5. In addition, it shall be Owner's sole responsibility to remove and re-install at Owner's expense, all obstructions, including, but not limited to, structures, fixtures, solar arrays, wind turbines, roof gardens, utilities or other overburden from the affected area as determined by Carlisle that would hinder or impede repairs being made in the most expedient and least expensive manner possible. Owner shall be responsible for all costs associated with any loss of power generation in the event that removal of a solar array is required to repair the roofing system.

6. During the term of this Warranty, Carlisle shall have free access to the roof during regular business hours.

7. Carlisle shall have no obligation under this Warranty while any bills for installation, supplies, service, and/or warranty charges have not been paid in full to the Carlisle Authorized Roofing Applicator, Carlisle, or material suppliers.

8. Carlisle's failure at any time to enforce any of the terms or conditions stated herein shall not be construed to be a waiver of such provision.

9. Carlisle shall not be responsible for the cleanliness or discoloration of the Carlisle Total Roofing System caused by environmental conditions including, but not limited to, dirt, pollutants or biological agents.

10. Carlisle shall have no liability under any theory of law for any claims, repairs, restoration, or other damages including, but not limited to, consequential or incidental damages relating, directly or indirectly, to the presence of any irritants, contaminants, vapors, fumes, molds, fungi, bacteria, spores, mycotoxins, or the like in the building or in the air, land, or water serving the building.

11. This warranty shall be transferable upon a change in ownership of the building when the Owner has completed certain procedures, including a transfer fee and an inspection of the Roofing System by a Carlisle representative.

12. Any dispute, controversy or claim between the Owner and Carlisle concerning this Limited Warranty shall be settled by mediation. In the event that the Owner and Carlisle do not resolve the dispute, controversy or claim in mediation, the Owner and Carlisle agree that any and all suits, proceedings, or claims shall be filed in either the state courts of Cumberland County, Pennsylvania or in the United States District Court for the Middle District of Pennsylvania. Each party irrevocably consents to the jurisdiction and venue of the above-identified courts.

13. Roof System Design Assembly: Carlisle, as manufacturer of commercial roofing products with the sole purpose of offering products for an Owner, design professional, architect, consultant, or engineer when designing/choosing a roof system assembly, assumes no liability nor implies to the suitability of the products for any particular assembly or specific building operation or structure. The Owner, design professional, architect, consultant, or engineer is solely responsible for the assembly chosen for a particular building structure to include the responsibility to properly calculate wind uplift values, design dead loads and live loads, and suitability and condition of building envelope substrate, decking, parapets, drainage, slope, and other attributes pertaining to the performance of the roof system assembly.

14. The Carlisle Authorized Applicator or any additional contractor or subcontractor are not agents of Carlisle.

CARLISLE DOES NOT WARRANT PRODUCTS UTILIZED IN THIS INSTALLATION WHICH IT HAS NOT FURNISHED AND SPECIFICALLY DISCLAIMS LIABILITY, UNDER ANY THEORY OF LAW, ARISING OUT OF THE INSTALLATION AND PERFORMANCE OF, OR DAMAGES SUSTAINED BY OR CAUSED BY, PRODUCTS NOT FURNISHED BY CARLISLE OR THE PRIOR EXISTING ROOFING MATERIAL OVER WHICH THE CARLISLE ROOFING SYSTEM HAS BEEN INSTALLED.

THE REMEDIES STATED HEREIN ARE THE SOLE AND EXCLUSIVE REMEDIES FOR FAILURE OF THE CARLISLE TOTAL ROOFING SYSTEM OR ITS COMPONENTS. THERE ARE NO WARRANTIES EITHER EXPRESSED OR IMPLIED, INCLUDING THE IMPLIED WARRANTIES OF FITNESS FOR A PARTICULAR PURPOSE AND MERCHANTABILITY, WHICH EXTEND BEYOND THE FACE HEREOF. CARLISLE SHALL NOT BE LIABLE FOR ANY INCIDENTAL, CONSEQUENTIAL OR OTHER DAMAGES INCLUDING, BUT NOT LIMITED TO, LOSS OF PROFITS OR DAMAGE TO THE BUILDING OR ITS CONTENTS UNDER ANY THEORY OF LAW.

BY: Mark J. Long

AUTHORIZED SIGNATURE
TITLE: Director, Technical and Warranty Services
This Warranty Expires:

Carlisle Care and Maintenance Guide

In order to ensure the long-term performance of your Roofing System and continued warranty service and coverage, regular rooftop maintenance inspections are necessary. While normal aging will occur on all roofs, if not detected early, problems stemming from abuse, contamination, accidents and severe weather can result in extensive and costly repairs or premature failure of the roofing system. Single-ply Roofing Systems are typically low-slope and easy to inspect, but caution must be taken to ensure safety. Carlisle disclaims and assumes no liability for any rooftop activity.

- Owner must retain records related to the Roofing System. Such records include, but are not limited to: the warranty document and serial number, maintenance inspection logs, rooftop traffic logs, service logs, and invoices for work performed on the roofing system.
- Inspect the roof at least every six months (preferably spring and fall) and immediately following any weather event that includes excessive rainfall, high winds and/or hail warnings. Increased number of rooftop maintenance inspections may be required on some roofs as the location may dictate, such as higher trees near the building which will accumulate leaves and debris on the roof and have adverse effects on drainage. In addition, rooftop maintenance inspections should occur after regular maintenance of any rooftop unit.

When inspecting the Roofing System, pay special attention to the following:

- Walls/Parapets/Roof Edge – Wind damage often begins at the perimeter of the roof. Ensure all membrane terminations and edge metal and copings are secure.
- Roof Deck Membrane – Inspect the field of the roof, scanning for damage caused by wind-blown debris or traffic.
- Penetrations/Rooftop Units – Inspect the membrane, flashings and terminations around penetrations and roof top units for possible damage from service work. Ensure the units and terminations are secure.
- Remove debris (leaves, dirt, trash, etc.) – Good roofing practice dictates that water should drain from the roof and that ponded water should evaporate within 48 to 72 hours after a rainfall. Debris can inhibit drainage.

Additional Maintenance Items:

- Foot Traffic – Walkways must be provided if regular traffic is required or if rooftop equipment has a regular thirty (30) day or less maintenance schedule.
- Petroleum Products & Chemicals - Keep all liquids containing petroleum products or chemicals off the membrane to avoid product degradation.
- Animal Fats/Vegetable Oils: EPDM Membranes - Do not exhaust animal fats/vegetable oils directly onto EPDM roof surfaces. TPO & PVC Membranes – Animal fats/vegetable oils must be regularly removed and the rooftop surface cleaned with a mixture of soap and water.

What to do if a leak occurs:

- After verifying the leak is through the roofing system, contact Carlisle at 1-800-233-0551 or at www.carlisesyntec.com.
- If minor, emergency temporary repairs are made to a suspected leak area, use Carlisle's Lap Sealant or a good-grade rubber caulk to address the repair area (do not use asphaltic roof cement). Please note, Carlisle is not responsible for the cost associated with any emergency temporary repairs.

Alterations to the Roofing System:

- Alterations to the Roofing System must be completed by a Carlisle Authorized Applicator. The Carlisle Authorized Applicator must notify Carlisle when the revision work is complete. The necessary form can be found on the Carlisle website via the Authorized Applicators login.

Warranty Transfer:

- Warranties shall be transferable upon a change in ownership of the building when the Owner has completed certain procedures. This form can be found on the Carlisle website for additional guidelines.

RhinoBond® Induction Welding System

RhinoBond is an alternative attachment system for Carlisle's Sure-Weld® TPO, Spectro-Weld™ TPO, Sure-Flex™ PVC or Sure-Flex KEE HP membranes. This all-in-one system uses the same fastener and plate to secure the membrane and the insulation to the deck without penetrating the roofing membrane. The result is a Factory Mutual-approved system that does not create any point of entry for moisture, requires fewer fasteners and provides superior wind uplift performance compared to standard mechanically attached TPO systems.

IMPROVED PRODUCTIVITY

By eliminating mechanical fastening in the seam, Carlisle's RhinoBond system decreases the number of screws and plates required for some assemblies by as much as 50%. This reduction results in minimized labor and material costs.

Spacing the RhinoBond plates in a grid-type pattern more evenly distributes the wind load and allows the use of full-width sheets across the entire roof area, eliminating the need for narrow perimeter sheets and reducing the number of seam welds.

The Carlisle RhinoBond system results in faster dry-in and allows the roofing applicator to tackle more square feet each day without the added concern of disrupting activities inside the building due to potential inclement weather.

IMPROVED PERFORMANCE

The evenly distributed securement provided by the RhinoBond system reduces wind flutter and noise as well as membrane fatigue compared to traditional mechanically attached assemblies. The plates are adhered to the underside of the membrane, creating a non-penetrating assembly.

The induction technology the patented RhinoBond tool has been in use since the 1990's and performs well under various weather conditions. The tool is effective even when the membrane is wet.

IDEAL FOR METAL RETROFIT APPLICATIONS

The Carlisle RhinoBond system is a great solution for metal retrofit applications. Unlike traditional assemblies, RhinoBond plates and fasteners are not required to be located in the seam area, eliminating the need for purlin-width sheets. This not only improves productivity but also reduces waste and increases profitability.

SYSTEM FEATURES AND BENEFITS INCLUDE:

- » Reduces fasteners, plates, and labor
- » No perimeter sheets required
- » Faster dry-in time
- » Non-penetrating system
- » Symmetrical wind load distribution





FASTENERS AND PLATES

The RhinoBond system uses 3-inch round specially coated plates, sold in pails of 500. RhinoBond plates meet FM 4470 criteria for corrosion resistance and can be installed with a variety of Carlisle fasteners.

INDUCTION WELDING TOOL

The RhinoBond tool is lightweight, with an adjustable and easy-to-use handle. It operates on standard 110-volt power sources and typically draws 1,300 watts. A 5,000-watt generator in good condition with two 20A GFCI protected circuits will run two tools.



HOW IT WORKS

- 1** RhinoBond plates are positioned in a grid-type or in-line pattern on the substrate and secured with mechanical fasteners to the deck.
- 2** Carlisle's TPO or PVC membrane is laid into position and the seams are hot-air welded. No fasteners in the seams are required.
- 3** The RhinoBond induction welding tool is placed on the membrane surface directly above each of the RhinoBond plates. The tool activates the special coating, resulting in a bond between the plates and the membrane.
- 4** The weighted magnets are then placed over the plates to dissipate heat and ensure intimate contact between the bottom surface of the membrane and the hot-melt adhesive.

The Facts About TPO Performance Testing

With more than 20 years of manufacturing and practical, real-world experience, there is still no equal to Carlisle SynTec Systems' Sure-Weld® TPO single-ply roofing membrane. TPO continues to be the fastest-growing segment in the commercial roofing industry, and your building deserves a TPO roofing system manufactured by the company that has been at the forefront of research, development, and technology since the inception of TPO as a roofing membrane: Carlisle SynTec Systems.

Carlisle, a long-time pioneer in the roofing industry, recently conducted the industry's largest and most comprehensive TPO study, in which all testing was conducted using the test methods and conditions as defined within ASTM D6878. Carlisle's study tested seven TPO membranes from manufacturers located in the United States and international locations for a wide range of properties that impact real-world rooftop performance. Highlights from this study can be found at www.carlislesyntec.com. The results clearly show that Carlisle's Sure-Weld TPO is the top performer when evaluating a wide range of physical attributes including heat and UV resistance.

WHY IS IT IMPORTANT TO FOLLOW ASTM STANDARDS WHEN CONDUCTING PERFORMANCE TESTING?

ASTM, the world's largest developer of standards, is an international organization that develops and publishes voluntary, consensus-based technical standards for a wide range of materials, products, systems, and services. ASTM D6878, the Standard Specification for Thermoplastic Polyolefin Based Sheet Roofing, is the consensus-derived document that was reviewed and approved by the entire ASTM membership, which includes roofing membrane manufacturers, building scientists, consultants, and raw material suppliers.

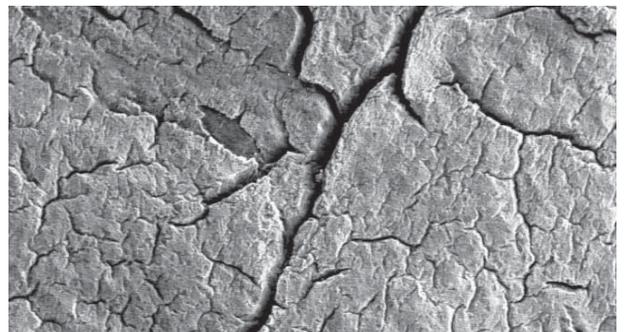
Be cautious of studies that do not follow ASTM standards. Predicting performance based on non-standard testing provides little benefit to the manufacturer, the material specifier, or the building owner.

By creating their own testing methods and evaluation criteria, any manufacturer can stack the deck and develop tests that will make their products seem superior: for example, subjecting TPO to heat aging at a temperature above the ASTM standard of 240°F, and then evaluating the membrane for other performance characteristics not related to heat resistance. Extremely high-temperature heat aging will expedite the time to failure, but temperatures above those specified within the ASTM standard can result in effects to the membrane that would not occur in real-world applications. Adding other tests after the heat aging process can produce results that depart even further from real-world conditions. This type of testing has not been accepted by ASTM or any consensus-based organization. By ensuring that TPO testing follows ASTM D6878, a consumer can avoid being misled.



60-mil Carlisle Sure-Weld TPO

After 30,240 kJ/m² Xenon Arc exposure | 100x magnification



60-mil "Competitor C" TPO

After 25,200 kJ/m² Xenon Arc exposure | 100x magnification



60-mil "Competitor A" TPO

After 25,200 kJ/m² Xenon Arc exposure | 100x magnification

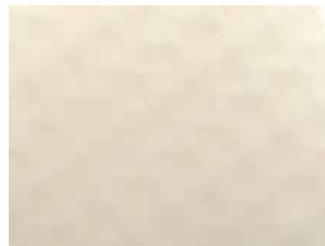
A truly independent study (not commissioned by a TPO manufacturer) on long-term TPO performance was recently conducted by TrinityIERD, a leading independent testing lab. Results from this study also showed that Carlisle’s TPO membrane was the leading performer when subjected to heat aging conditions specified within ASTM D6878. Specifically, the test laboratory concluded, “Sample B (Carlisle TPO) underwent the longest duration of heat exposure of all four samples, without cracking upon bend testing after 68 weeks of heat aging,” – more than double the ASTM standard.

WHY IS IT IMPORTANT TO USE THE CORRECT EQUIPMENT WHEN CONDUCTING RESEARCH TESTS?

To achieve accurate test results, it is essential that the proper testing equipment is utilized. The xenon arc weatherometer is recognized as providing the most realistic and severe method to duplicate UV exposure in a laboratory environment by exposing membrane samples to the entire spectrum of sunlight, including ultraviolet (UV), visible light, and infrared (IR), as well as ozone, heat, and water spray.

Be cautious of studies that do not utilize the xenon arc testing apparatus specified in ASTM D6878, as the use of non-standard equipment makes it impossible to compare the test results to those achieved through xenon arc testing.

HEAT AGING FOLLOWING ASTM D6878 PROTOCOL



Carlisle Sure-Weld TPO – 60 Weeks (No Failure)



“Competitor C” TPO – 37 Weeks

WHY IS IT IMPORTANT TO HAVE REAL-WORLD EXPERIENCE?

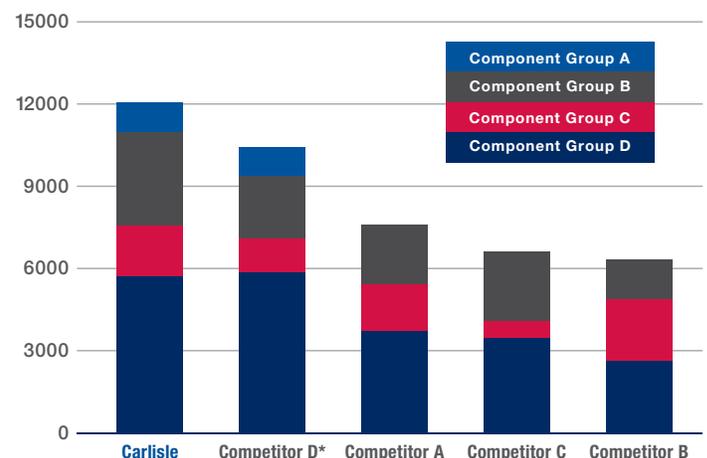
Carlisle has the longest track record in the TPO industry (over 20 years) and the most membrane installed in the field (more than 5 billion square feet), both of which provide valuable insight into the correlation between laboratory testing and field performance. Developing a single-ply membrane that will stand the test of time in the real world – not just in the lab – requires a broad knowledge of the interrelationships of many physical characteristics.

Carlisle continues to lead the industry with its high-performance OctaGuard XT™ weathering package. Incorporated into all Sure-Weld membrane and accessories, OctaGuard XT technology is comprised of eight performance-enhancing ingredients, including three heat-stabilizing antioxidants and three UV light stabilizers, as well as organic and inorganic UV absorbers. When combined, these eight ingredients provide a weathering package that is second to none in the TPO industry.

Carlisle, the world’s leading manufacturer of TPO membranes, is fully invested in providing quality roofing systems. The results of independent lab tests performed per ASTM D6878 standards, coupled with two decades of exceptional rooftop performance, prove there is still no equal to Carlisle’s Sure-Weld TPO membrane.



WEATHERING PACKAGE CHEMICAL ANALYSIS



*Competitor D is a premium-priced product compared to the other 4 samples.

CARLISLE'S PERFECT 10th AWARD

Custofoam Roofing Solutions

N4929 State Road 58
Mauston, WI 53948-936
Tel: 800.344.1232
Web: www.custofoam.com

Quick Facts

- Professional roof installers since 1972
- Most experienced FleeceBACK membrane installer in the midwest
- Carlisle Authorized Applicator since 1996

Awards

- Carlisle's Hall of Fame Centurion Award
- Carlisle's Perfection Award
- Recipient of Carlisle's ESP (Excellence in Single-Ply) Award
- Carlisle FleeceBACK Champions Award

Memberships

- NRCA (National Roofing Contractors Association)
- WASBO (Wisconsin Association of School Business Officials)



CUSTOFOAM

ROOFING SOLUTIONS

Carlisle SynTec Systems, a leading manufacturer of single-ply roofing materials, presented Custof foam Roofing Solutions with the Perfection Award. The Perfection Award, determined by historical installation quality standards, recognizes Carlisle's most dedicated and quality-minded authorized applicators. Honorees of the award are determined on the basis of a series of metrics including installation quality and warranty claim performance. Only the top 5% of Carlisle's applicators are recognized annually.

"Carlisle SynTec appreciates applicators who share its values and always strive for perfection," said Nick Shears, Carlisle's President and CEO. "We believe our premium products deserve top-quality installation, but it is up to our Carlisle approved applicators to exemplify this belief in the field. That's exactly what Custof foam Roofing Solutions has done."

Custof foam has been serving the entire state of Wisconsin and surrounding states since 1972, providing industry-leading roofing systems and dependable service for both new and re-roofing applications.

Custof foam pioneered Carlisle's FleeceBACK roof system in the upper Midwest. This highly durable roof system offers the most wind and hail-resistant single-ply roof system in the industry and is eligible for Carlisle's 30-year system warranties.

As a Carlisle authorized applicator, the experts at Custof foam have demonstrated their knowledge and experience with the full line of Carlisle roofing systems and products.

To become a Carlisle authorized roofer, Custof foam underwent extensive training conducted by Carlisle that covers roof system installations and maintenance. After completing the initial training, each member of our team is required to complete an annual education training program to ensure their team understands the latest technology and roofing products, technology and installation procedures from Carlisle.

To discuss a new or re-roofing project, or to schedule a Roof Condition Report and evaluation of an existing roof, visit Custof foam's website at www.custofoam.com or call 800.344.1232.





CUSTOFOAM

ROOFING SOLUTIONS



Rhinelander Plant



Three Lakes K-12 School

Three Lakes
K-12 Elementary School

Custofoam Roofing Solutions

N4929 State Road 58

Mauston, WI 53948-9361

Tel: 800.344.1232

Web: www.custofoam.com

What Custofom's customers are saying:

"The new Mauston High School is within a few months of a one-year warranty period. Therefore, it is appropriate to mention that Custofom did an outstanding job adhering to specifications and meeting difficult schedules on this project. Thank you for your company's efforts and we look forward to working with Custofom in the future."

-Kraemer General Contractor

"Custofom has worked on many projects and we have no problem recommending Custofom Roofing Solutions for future projects."

-SDS Architects

"The Wausau School District selected Custofom Roofing Solutions as the roofing team member for their new 50,000 square foot elementary school. Custofom offered qualified manpower, materials and equipment to complete their phase of the project in a timely manner. The crew was excellent to work with and kept safety their number one priority. Custofom met our project requirements, they were reliable, fair on requested change orders and professional. I would recommend Custofom Roofing Solutions on future projects."

-The Boson Company General Contractor





CUSTOFOAM

ROOFING SOLUTIONS

N4929 STATE ROAD 58, MAUSTON, WI, 53948
Phone: 608-847-7447, Fax: 608-847-6739

Membrane Roofing References:

Deland Broten Polaris Industries Roseau, MN 218-463-4512	Ron Carlson Durst/ Regal Beloit Facilities- Clinton, WI 608-361-5512
Steve Kranz Director of Facilities Omro Schools 920-685-5666	Brian Koca Operations Director Mile Bluff Medical Center 608-847-6161
Jim Beckman Director of Buildings & Grounds Glendale-River Hills Schools 414-351-7170	Joe Ibberson Director Physical Plant 3M 507-359-0373
Bob Knorr Maintenance Director Greentree Healthcare Center 715-823-2194	Randy Johnson Director of Buildings & Grounds Reedsburg Schools 608-524-4359
Dave Halfman Maintenance Manager Marathon Electric- Wausau 715-675-3311	Rick Noe Buildings and Grounds Mauston School district 608-8475451

Facilities Roof Systems installed by Custofoam Corporation

W Conagra Foods	Lyco Manufacturing
*Westby High School	*Solvox Manufacturing
W * Westby Coon Valley Elementary School	**Salco Manufacturing
W * Westby Chaseburg Elementary School	*Viroqua High School
Wausau South Mountain Elementary School	*Hillsboro High School
Wausau G D Jones Elementary School	Seneca High School
Wausau West High School	*River Falls High School
Wausau Stettin Elementary School	River Falls Rocky Branch Elementary School
Wausau Riverview Elementary School	*River Falls Greenwood Elementary School
*Wausau John Muir Elementary School	River Falls Westside Elementary School
Wausau Berlin Elementary School	Meritex
Gerber Manufacturing	W*Sparta High School
*Wautoma High School	*Sparta Cataract Elementary School
Evergreen Health Care Center	Waas Boring & Cable
Swiss Colony	*Cadott High School
**Eau Claire Memorial High School	W*Brodhead Schools
*Eau Claire Sherman Elementary School	Federal-Mogul Powertrain Systems
**Eau Claire Lowes Creek Elementary School	Boyd Elementary School
Cargill	Rock Springs Elementary School
Union Grove Schools	W *Assumption High School (IL)
**Omro High School	Kendall Elementary School
Omro Patch Elementary School	New Lisbon High School
Quality Stamping	Strum Elementary School
Qualine Fence	Trostel Manufacturing
Northland Pines K-8 Elementary School	Mitek Manufacturing
Northland Pines St Germaine Elementary School	*Bloomer Medical
Northland Pines Land o Lakes Elementary School	Mason Shoe
*Reedsburg Webb Junior High School	**Midwest Rubber
*Reedsburg LaValle Elementary School	Rhinelanders Schools
*Reedsburg Loganville Elementary School	Grede Foundry
	(Tan)*Pardeeville High School
	*La Crosse Logan Elementary School
	Boscobel High School
	W Mauston City Hall
	Alferi Labs
	Monterey Mills
	Timbco Hydraulics

*Installation over existing, restored sprayed foam roof system

**Installed over new sprayed foam insulation

W White Membrane



Your Choice Roofing
 N10749 County Road G
 Marion, WI 54950
715-754-2608

Proposal

To: Fox River Industries
222 Leffert Street P.O. Box 69
Berlin, WI 54923
Attn. Ed Schuh

LICENSE NO.	
DATE <u>4-16-21</u>	JOB PHONE NO. <u>920-361-3484</u>
JOB NAME / NO. <u>Fox River Industries/Green Lake</u>	
JOB LOCATION <u>222 Leffert Street</u> <u>Berlin, WI</u>	

We hereby submit specifications and estimates for:

To provide labor, materials and equipment to install a membrane roof on top of 8,350 square feet of metal roof at above address.

Install one inch poly iso Flute Fillers between metal ribs. Install one inch poly iso insulation over top of Flute fillers and metal. Poly iso is mechanically fastened to roof deck, and has an R-value of 6.2 per inch.

Install Flexion XL .060 mil Membrane on top of poly iso. Flexion XL is mechanically fastened to roof deck, and all seams heat welded. All roof penetrations sealed with Flexion XL components. Termination bars along perimeters to secure Flexion XL membrane. Flexion is white in color. Complete debris clean up, removal and disposal costs included.

We will provide a 25 year non prorated material warranty, and a 5 year labor warranty, non prorated. As a part of warranty we reserve the right to do annual on site roof inspections.

All materials guaranteed to be as specified. Material warranted as specified by manufacturer(s). Any alterations or deviation from the above specifications involving extra cost will be executed only upon written orders, and all will become an extra charge over and above this estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry all necessary insurance, owner not to be liable or responsible for any accidents or injuries to our staff and/or workers. Balance(s) not paid within 30 days of job completion, or due date on final bill will be charged 1.5% interest per month. Your Choice Construction has the right to cure default in regards to non-payment pursuant to WI statute 895.07

We propose hereby to furnish material and labor - complete in accordance with above specifications, for the sum of:

Fifty Six thousand Three Hundred and Seventy dollars dollars (\$ 56,370.00).

Payment to be made as follows:
\$18,790.00 downpayment, \$18,790.00 when project starts, and \$18,790.00 upon completion

You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Cancellation must be done in writing.

Ray Hayes
 Authorized Signature

Note: This proposal may be withdrawn by us if not accepted within 30 days.

Acceptance of Proposal: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____ Date _____ Signature _____ Date _____



Your Choice Roofing
 N10749 County Road G
 Marion, WI 54950
715-754-2608

Proposal

To: Fox River Industries
222 Leffert St. P.O. Box 69
Berlin, WI 54923
Attn. Ed Schuh

LICENSE NO.	
DATE <u>4-16-21</u>	JOB PHONE NO. <u>920-361-3484</u>
JOB NAME / NO. <u>Fox River Industries / Green Lake</u>	
JOB LOCATION <u>222 Leffert street</u> <u>Berlin, WI</u>	

We hereby submit specifications and estimates for:

To provide labor, materials and equipment to waterproof 8,350 square feet metal roof at above address.

Power wash entire roof surface, and treat with Rust OFF to neutralize rust on screws. Remove tar and non metal flashings. Tighten down or replace loose screws.

Apply Encase Metal Primer on entire surface. Caulk all screws and roof penetrations. Apply Benchmark Base Coat and SpunFlex Fabric along all vertical and horizontal seams.

Apply Puma XL top coat on entire roof surface, at the rate of 1.9 gallons per 100 square feet. Puma XL dry thickness is approx. 22 mil. Top coat is white in color.

Building owner to provide a connection for water hose, for power washing the roof. Complete clean up included.

With this coating system we will provide an 18 year warranty on materials. As a part of this warranty we reserve the right to do an annual on site roof inspection.

All materials guaranteed to be as specified.
 Material warranted as specified by manufacturer(s).
 Any alterations or deviation from the above specifications involving extra cost will be executed only upon written orders, and all will become an extra charge over and above this estimate. All agreements contingent upon strikes, accidents, or delays beyond our control. Owner to carry all necessary insurance, owner not to be liable or responsible for any accidents or injuries to our staff and/or workers.
 Balance(s) not paid within 30 days of job completion, or due date on final bill will be charged 1.5% interest per month. Your Choice Construction has the right to cure default in regards to non-payment pursuant to WI statute 895.07

We propose hereby to furnish material and labor - complete in accordance with above specifications, for the sum of:

Thirty Seven thousand Six Hundred and Thirty Eight dollars dollars (\$ 37,638.00).

Payment to be made as follows:
12,546.00 down payment, \$12,546.00
when project starts, and \$12,546.00
upon completion

Ray Hoyle
 Authorized Signature

Note: This proposal may be withdrawn by us if not accepted within 30 days.

You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. Cancellation must be done in writing.

Acceptance of Proposal: The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____ Date _____ Signature _____ Date _____

June 01, 2021
Property & Insurance Committee
Monthly Report
Maintenance Department
Green Lake County

571 County Road A

Report of sink in D-5 must be clogged very little water pressure – Found small plastic piece tube/straw/pen tube? material jammed in spout/removed - Corrections
Painted over profanity scratched directly above intercom inside program 1 – Corrections
Replaced 2 lamps in fixture in Professional Visits room #1 – Corrections
Converted 2'x2' fixture to LED under mezzanine Unit D – Corrections
Request to repair door #9 not operating smooth enough/adjusted - Corrections
Replaced expired relay master control to Unit B cell lighting - Corrections
Replaced all wiring in conduit for Unit M shower/restroom area lighting/night light – Corrections
Replaced LED night light lamp in fixture Unit C cell #9/#10 – Corrections
Replaced damaged water shut off valve Unit B cell #5/#6 - Corrections
Replaced worn o-ring hot water push button Unit D cell #3 - Corrections
Repaired flush button toilet cell #5 receiving – Corrections
Report of locking difficulties kitchen rec/sally port area- latch plate bent from blocking door open with foreign object/repaired/tested - Corrections
Replaced 1 – 4' lamp in fixture closet to shredder – Communications
Tighten faucet handle on sink EOC – SO
Repaired flush handle women's restroom/exercise room - SO
Replaced lamp in fixture staff entrance – SO
Replaced power-pak for lighting printing room 2nd floor - HHS
Repaired garment hook mount office #1148 – HHS
Replaced lamp in fixture hallway between #1151/#1152 - HHS
Removed west staff entrance covid screening tab per request 05/14/21 – CA
Replaced bottom seal on vac unit mount womens restroom – CA
Replaced expired hot water cartridge women's restroom sink - CA
Local Fire Department fire inspection performed 05/17/21
Scheduled Maintenance performed
General Maintenance performed

500 Lake Steel Street

Local Fire Department fire inspection performed 05/11/21- Results forward to CA
Scheduled Maintenance performed
General Maintenance performed

Tower Sites

Princeton

Markesan

Kingston

Green Lake

Berlin

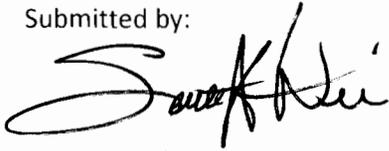
Scheduled Maintenance performed

General Maintenance performed

FRI

Replaced expired ballast in 4' / 2bulb/ T-8 fixture in small hall between production areas 05/17/21 per request

Submitted by:

A handwritten signature in black ink, appearing to read "Scott A. Weir". The signature is stylized with a large, sweeping initial "S" and a long, horizontal stroke extending to the right.

Scott A. Weir

Maintenance Director/Parks & Recreation Director
Green Lake County