



GREEN LAKE COUNTY

571 County Road A, Green Lake, WI 54941

Original Post Date: 10/30/19

Amended* Post Date: 10/31/19

The following documents are included in the packet for the Parks Commission on November 4, 2019:

- 1) Amended Agenda
- 2) Minutes from 09/10/19
- 3) Boat Launch Information
- 4) Information on Bathrooms for Dodge Memorial
- 5) Amending Chapter 187 Parks and Recreation, Article III. Park Rules and Regulations
- 6) ***Parks Action Plan**
- 7) Parks Report



GREEN LAKE COUNTY OFFICE OF THE COUNTY CLERK

Elizabeth Otto
County Clerk

Office: 920-294-4005
FAX: 920-294-4009

Parks Commission Meeting Notice

Date: November 4, 2019 Time: 4:30 PM

Location: Government Center, County Board Room, 571 County Road A, Green Lake WI

*Amended AGENDA**

Committee Members

*William Boutwell, Chair
Jerry Specht, Vice-Chair
Vicki Bernhagen
Todd Morris
Vonn Roberts
Michael Shattuck
Curt Talma*

Elizabeth Otto, Secretary

1. Call to Order
2. Certification of Open Meeting Law
3. Pledge of Allegiance
4. Approval of Minutes: ~~08/05/19~~ *9/10/19
5. *Appearances:
 - *Ken Bates, Green Lake Greenways- Multimodal Local Supplement (MLS) program
6. Update and Action on Boat Launch Terminals
7. Discussion and Possible Action on Dodge Memorial Park Bathrooms
8. Review of Proposed Ordinance to Allowing Fundraising in the Parks and Reserving Parks Facilities
9. Five Year Parks Plan Update
10. Parks Report
 - Monthly Activities
11. Committee Discussion
 - Future Meeting Dates: February 4, 2020 at 4:30PM
 - Future Agenda items for action & discussion
12. Adjourn

*stricken from the agenda

Kindly arrange to be present, if unable to do so, please notify our office. Sincerely, Elizabeth Otto, County Clerk

Please note: Meeting area is accessible to the physically disabled. Anyone planning to attend who needs visual or audio assistance, should contact the County Clerk's Office, 294-4005, not later than 3 days before date of the meeting.

PARKS COMMISSION

September 10, 2019

The meeting of the Parks Commission was called to order by Chair Bill Boutwell on Tuesday, September 10, 2019 at 4:30 PM in the Green Lake County Board Room, Green Lake County Government Center, 571 County Road A, Green Lake, WI. The requirements of the open meeting law were certified as being met. The pledge of allegiance was recited.

Present: Vicki Bernhagen
Bill Boutwell
Todd Morris
Jerry Specht
Curt Talma

Absent: Michael Shattuck
Vonn Roberts

Other County Employees Present: Liz Otto, County Clerk; Harley Reabe, County Board Chair; Scott Weir, Maintenance Supervisor; Corporation Counsel Dawn Klockow (5:01)

APPROVAL OF MINUTES

Motion/second (Bernhagen/Morris) to approve the minutes of the 08/05/2019 meeting with no additions or corrections. Motion carried with no negative vote.

UPDATE AND POSSIBLE ACTION ON BOAT LAUNCH TERMINALS

Maintenance Supervisor Scott Weir reported 5 incidents of lost communication with the boat launch terminals since August 5, 2019. Discussion held. A final decision will be made at the November meeting.

DISCUSSION AND POSSIBLE ACTION ON DODGE MEMORIAL PARK BATHROOMS

Discussion held on several bathroom options including centralizing to one location, adding security cameras, and locking bathrooms after certain hours. Todd Morris stated he got pricing for pre-fabricated 2 stall bathrooms and it would be roughly \$75,000. Chair Boutwell instructed Weir to get pricing from several vendors for the November meeting.

REVIEW OF ORDINANCE 419-90 PARK RULES AND REGULATIONS 187-8(K)

Discussion held with Corporation Counsel Dawn Klockow regarding insurance requirements and what types of non-profit agencies would be allowed to use the parks. Chair Boutwell will contact the City of Green Lake to find out their process and report back at the November meeting.

FIVE YEAR PARKS PLAN

Maintenance Supervisor Scott Weir gave an update of what has been completed in the 2014-2019 Parks Plan and discussed with the committee what they would like included in the 2020-2025 plan. A formal plan for 2020-2025 will be presented at the November meeting.

2020 BUDGET DISCUSSION

Maintenance Supervisor Scott Weir presented the proposed 2020 budget for the Parks. Discussion held.

PARKS REPORT

Discussion held on report as submitted by Maintenance Supervisor Scott Weir.

COMMITTEE DISCUSSION

Future Meeting Date: Next meeting date: November 4, 2019 @ 4:30 PM

Future Agenda items for action & discussion: update and action on boat launch terminals, discussion and possible action on Dodge Memorial Park bathrooms, review of Ordinance 419-90 Park Rules and Regulations 187-8(K), five year parks plan

ADJOURNMENT

Chair Boutwell adjourned the meeting at 5:45 PM.

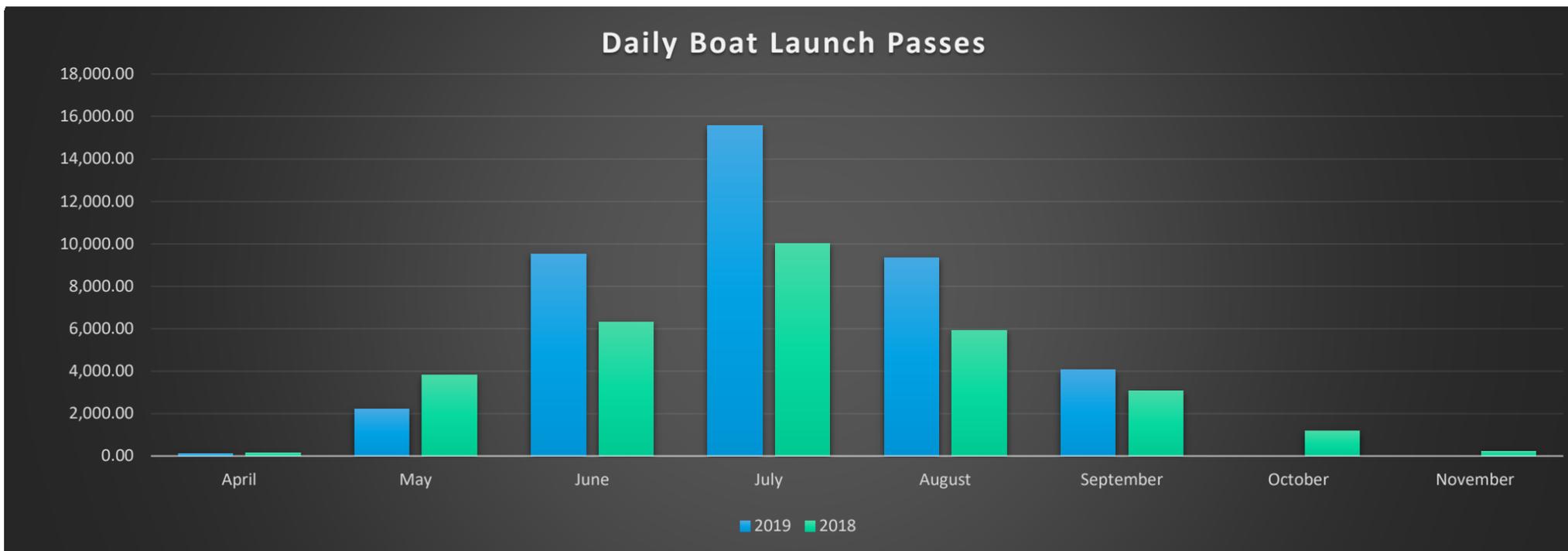
Submitted by,



Liz Otto
County Clerk

Daily Boat Launch Passes

		January	February	March	April	May	June	July	August	September	October	November	December	Total
2019	\$7.00	0.00	0.00	0.00	123.00	2,211.00	9,520.50	15,565.18	9,338.00	4,053.00				\$40,810.68
2019	\$5.00	0.00	0.00	0.00	87.86	1,579.29	6,800.36	11,117.99	6,670.00	2,895.00	0.00	0.00	0.00	\$29,150.49
2018		0.00	22.00	0.00	144.66	3,801.11	6,317.94	10,006.26	5,925.68	3,081.23	1,179.49	225.00	0.00	\$30,703.37
2017		0.00	0.00	0.00	173.30	2,602.55	5,294.16	9,236.73	5,150.78	4,710.40	1,153.00	238.00	0.00	\$28,558.92
2016		0.00	0.00	0.00	348.91	2,937.10	6,596.84	7,349.03	7,026.91	3,592.74	1,379.35	115.00	0.00	\$29,345.88
2015		0.00	0.00	0.00	228.15	2,132.77	4,243.50	8,558.27	6,390.06	4,795.65	1,014.21	61.00	25.00	\$27,448.61



A few notes for 2019:

- * We increased the daily boat launch pass amount from \$5.00-\$7.00
- * I only included April - November since these are the months we see the most activity
- * Fees from Point & Pay

May:	\$162.00	July:	\$1,206.16	September:	\$176.30
June:	\$1,058.00	August:	\$271.43	October:	

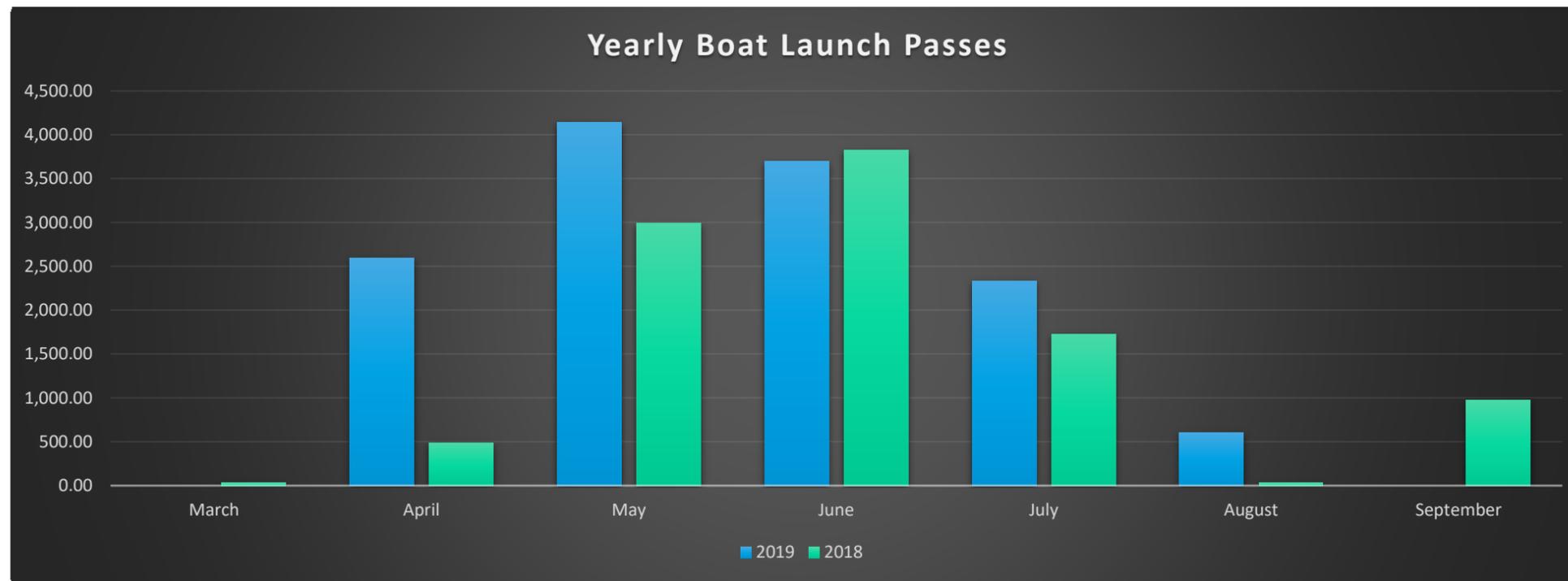
* The automated machines were not fully functional until around May 29, 2019

Total Daily Boat Launch Passes Sold:

2019	5830
2018	6141

Yearly Boat Launch Passes

	January	February	March	April	May	June	July	August	September	October	November	December	Total
2019	0.00	0.00	0.00	2,592.00	4,143.00	3,698.00	2,334.00	606.00	0.00				\$ 13,373.00
2019	0.00	0.00	0.00	1,952.00	2,836.00	2,618.00	1,690.00	464.00	0.00				\$ 9,560.00
2018	0.00	0.00	30.00	490.00	2,988.00	3,824.00	1,726.00	30.00	975.00	515.00	0.00	0.00	\$ 10,578.00
2017	0.00	0.00	210.00	812.00	1,498.00	4,271.00	1,248.00	1,100.00	260.00	0.00	0.00	0.00	\$ 9,399.00
2016	0.00	0.00	360.00	280.00	1,732.00	4,916.00	1,120.00	142.00	0.00	0.00	22.00	0.00	\$ 8,572.00
2015	0.00	0.00	0.00	832.00	1,760.00	2,260.00	3,812.00	0.00	0.00	616.00	0.00	0.00	\$ 9,280.00



A few notes for 2019:

- * We increased the yearly boat launch pass by an additional \$10.00. \$20.00 to \$30.00 (Resident) and \$30.00 to \$40.00 (Non-Resident)
- * I only included March -September since these are the months we see the most activity
- * In 2019 we stopped selling annual boat launch passes at Reilly Pub and North Bay

Total Yearly Boat Launch Passes Sold:

2019	451
2018	467

Weir, Scott

From: Macayla Palubicki <Macayla.Palubicki@theSighGroup.com>
Sent: Monday, September 16, 2019 11:43 AM
To: Weir, Scott
Subject: RE: Green Lake County
Attachments: STANDARD specifications for restroom building.docx; Modular_Installation_Guide.pdf; goldeneye-floor-plan.pdf; teal-vault.pdf; mallard-vault.pdf; wood-duck-vault.pdf; badger-restroom.pdf; bobcat-restroom.pdf; wolverine-restroom.pdf; lynx-restroom.pdf

Scott,

Please see the budget numbers below. The pricing for all of the buildings includes the building (and vault for the vaults), delivering, and setting. I have also attached our restroom (modular) installation guide and the standard specs for the restroom buildings. All of our buildings have about 30 wood and stone designs to choose from as well as being able to choose any color in the Sherwin Williams color spectrum. Please give me a call at 715-577-1934 if you have any questions or need more information.

- Vaults
 - Teal = \$16,000
 - Goldeneye = \$28,000
 - Wood Duck = \$32,000
 - Mallard = \$45,000
- Restrooms
 - Lynx = \$47,000
 - Badger = \$61,000
 - Wolverine = \$81,000
 - Bobcat = \$83,000

Thank you,

Macayla Palubicki – Sales Representative



Cell: 715.577.1934
Office: 715.438.6252
4033 123rd Street
Chippewa Falls, WI 54729

www.huffcutt.com - www.wissota.golf - www.royalenterprises.net - www.steinbroos.com

From: Macayla Palubicki
Sent: Monday, September 16, 2019 7:27 AM
To: 'sweir@co.green-lake.wi.us' <sweir@co.green-lake.wi.us>
Subject: Green Lake County

Good Morning Scott,

I have received your contact form for the interest in pricing estimates on vaults and restroom buildings.

Can you tell me a little more about what you are looking for in the building so that I can better assist you? How many toilets, sinks, and showers? Once I have an idea on what you are looking for in a building, I will be able to pair you with the correct options along with the pricing estimate.

Thank you,

Macayla Palubicki – Sales Representative



Cell: 715.577.1934
Office: 715.438.6252
4033 123rd Street
Chippewa Falls, WI 54729

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Specifications for Restroom Building

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete restroom building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural and foundation design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
 - 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS
 - 1.1. Doors and Frames
 - 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
 - 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.
 - 1.3. Windows
 - 1.3.1. Vinyl frame, obscure glass, operable. Parco or equal.
 - 1.4. Plumbing
 - 1.4.1. Stools
 - 1.4.1.1. Kohler porcelain wall mounted, ADA compliant, elongated bowl.

- 1.4.1.2. Sloan flush valve, concealed, hydraulic actuator.
- 1.4.2. Urinal
 - 1.4.2.1. Kohler porcelain wall mounted, ADA compliant.
 - 1.4.2.2. Sloan flush valve, concealed, hydraulic actuator.
- 1.4.3. Lavatories
 - 1.4.3.1. Kohler wall mounted sink, ADA compliant.
 - 1.4.3.2. Moen single handle ADA metering faucet.
- 1.4.4. Water Heater
 - 1.4.4.1. Bradford white electric water heater. Size to be sufficient for number of showers and lavatories.
- 1.4.5. Mixing Valve
 - 1.4.5.1. Honeywell thermostatic mixing valve, adjustable.
- 1.4.6. Floor Drains
 - 1.4.6.1. Sioux Chief on grade adjustable floor drain.
- 1.4.7. Sediment Filter
 - 1.4.7.1. Rusco sediment filter.
- 1.5. Electrical
 - 1.5.1. Interior
 - 1.5.1.1. RAB Vandalproof Tuff Dome motion sensor.
 - 1.5.1.2. RAB VAN1 lights.
 - 1.5.1.3. GFI receptacles.
 - 1.5.1.4. Murdock super secure.
 - 1.5.2. Exterior
 - 1.5.2.1. RAB Tallpack lights.
 - 1.5.3. Chase
 - 1.5.3.1. 100amp loadcenter.
 - 1.5.3.2. (2) 2 bulb florescent lamps. (1 per modular section)
 - 1.5.3.3. Soler & Palau exhaust fan.
- 1.6. Interior Hardware
 - 1.6.1. Stainless 3 roll toilet paper dispenser.
 - 1.6.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.6.3. Stainless frame 18" x 36" mirror.
 - 1.6.4. (2) coat hooks
- 1.7. Sealers
 - 1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.
- 1.8. Caulks and Grout
 - 1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

- 1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface.
Speed Crete Red Line or equal.

2. FINISHES

2.1. Interior

- 2.1.1. Smooth trowel finish.

2.2. Exterior

- 2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.
- 2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

- 2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

- 2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.
- 2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.
- 2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE FAMILY STYLE RESTROOM – SHOWER BUILDING

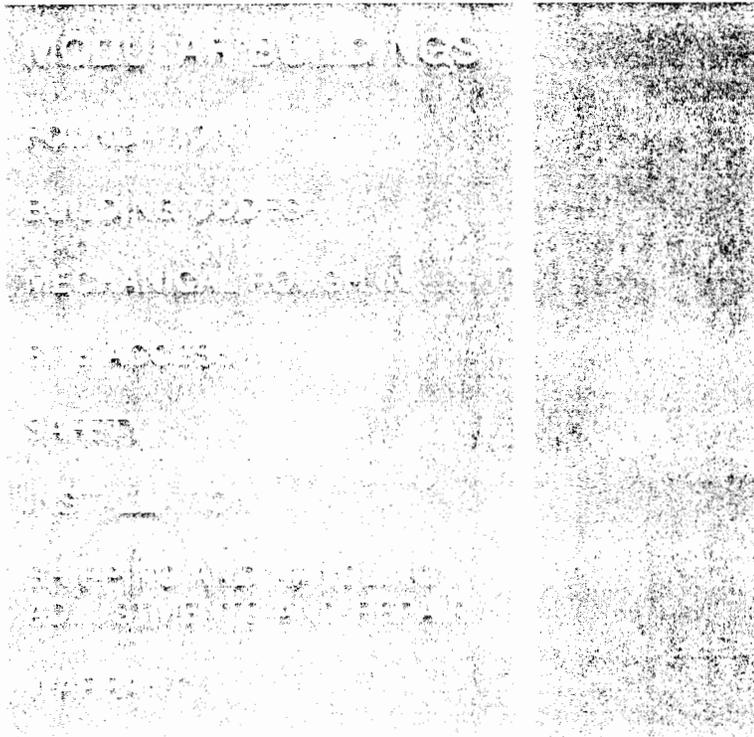
- 1.1. Building manufacturer shall construct, assemble, paint, install plumbing and electrical at their plant so that it may be transported to the jobsite in finished modules and placed using a crane.
- 1.2. Building manufacturer shall provide mechanical rough in drawing showing where electrical, water supply line, waste line, and floor drains are to be located for hook up to building.
- 1.3. Contractor will make final mechanical connections after the building is placed by manufacturer.
- 1.4. Manufacturer will caulk interior and exterior seams between modules. Manufacturer will also perform any shipping and handling repairs during installation.

2. ONSITE

- 2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.
- 2.2. Contractor shall design and pour a foundation suitable for building to sit on. Foundation shall be level to within ¼".

- 2.3. Contractor shall rough in mechanicals according to mechanical rough in drawing provided by building manufacturer. Mechanicals shall be terminated at top of foundation. Final mechanical connections shall be done by contractor including floor drains.
- 2.4. Contractor will perform initial startup of building using O & M manual as a reference. Contractor will also perform any troubleshooting during initial startup.

HUFFCUTT CONCRETE Modular Building Installation Guide



Huffcutt Concrete, Inc.

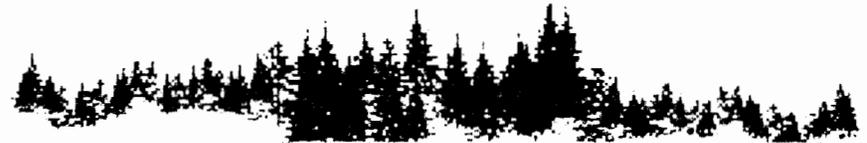
MODULAR BUILDING

We believe in protecting your investment
and the long life cycle of your building.



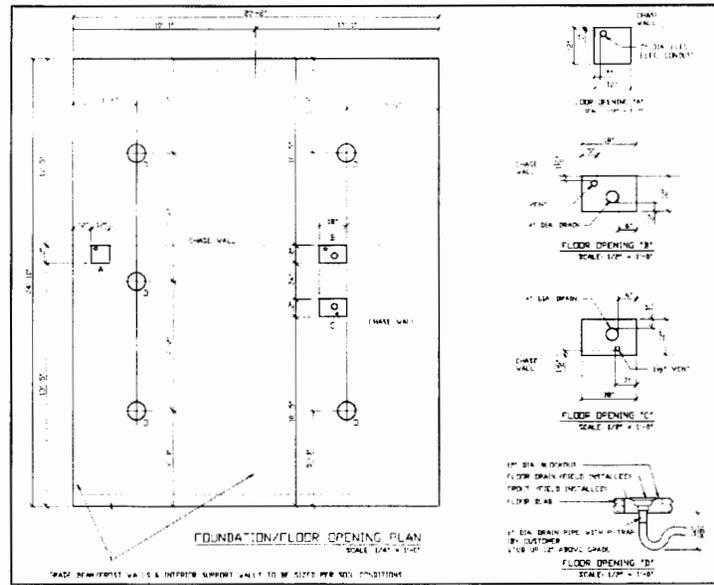
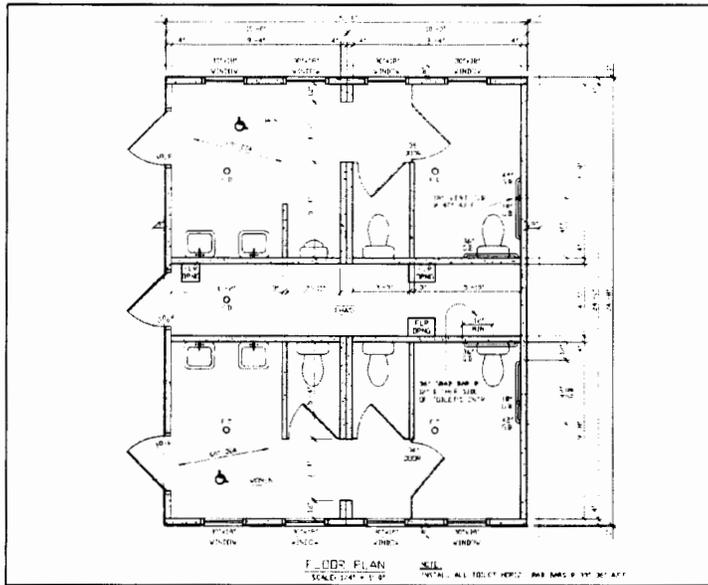
FOUNDATION

You will be responsible for providing a suitable foundation for the modular building. Modular sections range in weight from 50,000# to 80,000#. Frost walls or grade beams are acceptable but you will need to determine your soil conditions and local building codes. We believe in protecting your investment and the long life cycle of your building. Why short change the foundation?

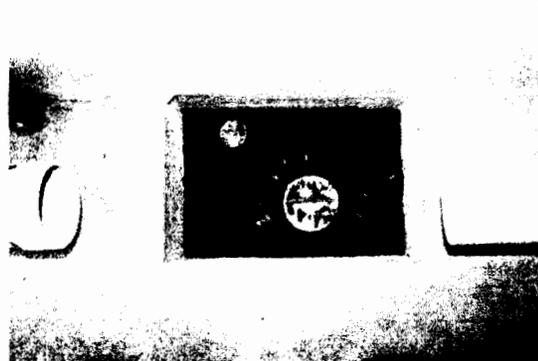


BUILDING CODES

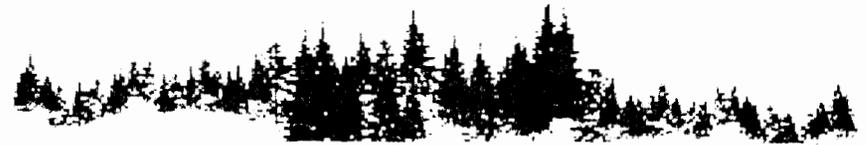
It will be your responsibility to comply with any codes, permits, and special requirements. We can incorporate any special requirements into your building as long as you inform us prior to building manufacture. Some special requirements may incur an additional charge. Start talking to us early so we can work together on these requirements.

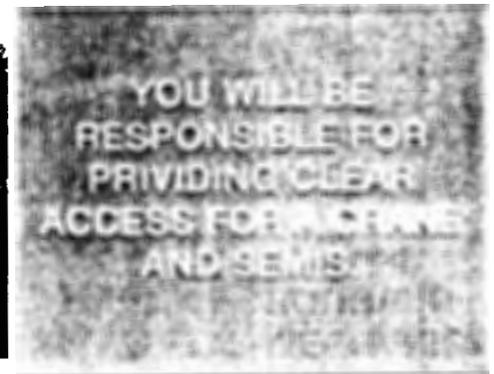


MECHANICAL ROUGH IN
You will be responsible for roughing in the plumbing supply lines, waste line, electrical, floor drains, and plumbing vent lines. We will provide you with a mechanical rough in drawing showing where these pipes need to come through the floor slab(s).



MECHANICAL
ROUGH IN
Continued





SITE ACCESS

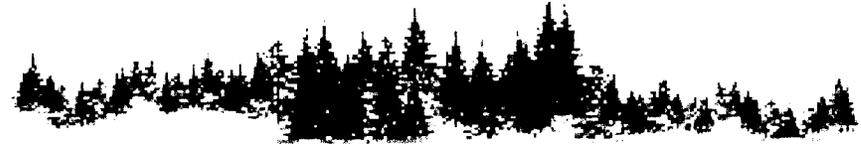
You will be responsible for providing clear access for a crane and semis. These vehicles can weigh in excess of 100,000#. Clear access requires sufficient turning and maneuvering radius, suitable soil or provided alternatives to support these vehicles under their own power, and free of overhead obstacles (including power lines). Additional charges may apply if reasonable means are not used.

Cranes and large precast components require the respect and attention of everyone on the jobsite.

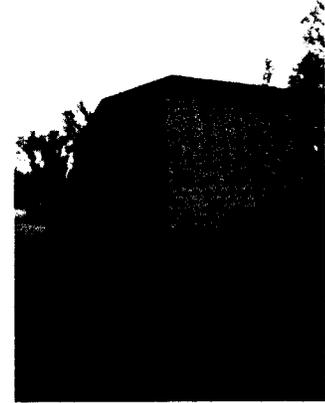


SAFETY

Safety is everyone's responsibility. A safety meeting should be held before any setting begins. Dangerous areas identified, what PPE should be worn, who will be providing signals and a system of communication between workers and the signal person. Each jobsite is different and specific jobsite safety concerns should be identified, never assume someone knows them. Cranes and large precast components require the respect and attention of everyone on the jobsite.



YOU WILL BE RESPONSIBLE FOR THE FINAL ONSITE MECHANICAL CONNECTIONS IN THE BUILDING.



INSTALLATION

You will be responsible for the above mentioned items and the crane rental. In addition you will need to have someone onsite who is knowledgeable, has the authority to make a decision, and the resources available to make a change in these areas during setting. No jobsite is

perfect and a cooperative effort between parties must be maintained. We will provide the crew to set the modular building sections. We will perform the final caulking, ridge cap, paint touch up (weather permitting), and shipping and handling adjustments and repair. You will be responsible for the final

onsite mechanical connections in the building. These include water supply line, wastewater line, plumbing vent lines, electrical connection to the service panel, and any tightening of fittings that may have loosened during shipping and handling.



SHIPPING AND HANDLING ADJUSTMENTS AND REPAIR

Each restroom module is assembled, fitted, and completed in our NPCA Certified Plant. The modules are then separated and loaded onto semis for transportation to your jobsite. They are each handled again and placed together on your foundation. During this process you can expect adjustments and repairs to be

needed. Items that can be affected are: doors, caulk joints, lifting points, and minor cracking. Our crew will make these adjustments and repairs or make sure your crew has a sufficient working knowledge to complete these tasks.



WARRANTY

Huffcutt Concrete shall provide a warranty against defect in material or workmanship for a period of 20 years on all precast concrete components manufactured at our facility. The warranty is valid only when the precast concrete is used within the specified loadings. Furthermore, said warranty includes only the related material necessary for construction and

fabrication of said concrete components. If found defective, Huffcutt Concrete will, at its option, repair or replace any concrete component of the building. Upon receipt and approval of the delivered building – troubleshooting, installation, repair and shipping are the responsibility of the end user, unless otherwise agreed upon in writing between Huffcutt Concrete and end user.



Non-concrete components are defined as any item not manufactured by Huffcutt Concrete and include, but not limited to, the following categories: electrical, plumbing, interior finishing, flooring, air circulation, security or entry. Any non-concrete component found to be defective shall be

covered by the manufacturer's standard warranty of said non-concrete component. All troubleshooting, installation, repair and shipping of non-concrete components are the responsibility of the end user.

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete restroom building.
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 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
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PART 2 – PRODUCTS

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 - 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.
 - 1.3. Windows
 - 1.3.1. Vinyl frame, obscure glass, operable. Parco or equal.
 - 1.4. Plumbing
 - 1.4.1. Stools
 - 1.4.1.1. Kohler porcelain wall mounted, ADA compliant, elongated bowl.
 - 1.4.1.2. Sloan flush valve, concealed, hydraulic actuator.
 - 1.4.2. Urinal
 - 1.4.2.1. Kohler porcelain wall mounted, ADA compliant.
 - 1.4.2.2. Sloan flush valve, concealed, hydraulic actuator.
 - 1.4.3. Lavatories
 - 1.4.3.1. Kohler wall mounted sink, ADA compliant.

1.4.3.2. Moen single handle ADA metering faucet.

1.4.4. Water Heater

1.4.4.1. Bradford white electric water heater. Size to be sufficient for number of showers and lavatories.

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1.5.1.2. RAB VAN1 lights.

1.5.1.3. GFI receptacles.

1.5.1.4. Murdock super secure.

1.5.2. Exterior

1.5.2.1. RAB Tallpack lights.

1.5.3. Chase

1.5.3.1. 100amp loadcenter.

1.5.3.2. (2) 2 bulb florescent lamps. (1 per modular section)

1.5.3.3. Soler & Palau exhaust fan.

1.6. Interior Hardware

1.6.1. Stainless 3 roll toilet paper dispenser.

1.6.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.

1.6.3. Stainless frame 18" x 36" mirror.

1.6.4. (2) coat hooks

1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE FAMILY STYLE RESTROOM – SHOWER BUILDING

1.1. Building manufacturer shall construct, assemble, paint, install plumbing and electrical at their plant so that it may be transported to the jobsite in finished modules and placed using a crane.

1.2. Building manufacturer shall provide mechanical rough in drawing showing where electrical, water supply line, waste line, and floor drains are to be located for hook up to building.

1.3. Contractor will make final mechanical connections after the building is placed by manufacturer.

1.4. Manufacturer will caulk interior and exterior seams between modules. Manufacturer will also perform any shipping and handling repairs during installation.

2. ONSITE

2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.

2.2. Contractor shall design and pour a foundation suitable for building to sit on. Foundation shall be level to within ¼".

2.3. Contractor shall rough in mechanicals according to mechanical rough in drawing provided by building manufacturer. Mechanicals shall be terminated at top of foundation. Final mechanical connections shall be done by contractor including floor drains.

2.4. Contractor will perform initial startup of building using O & M manual as a reference. Contractor will also perform any troubleshooting during initial startup.

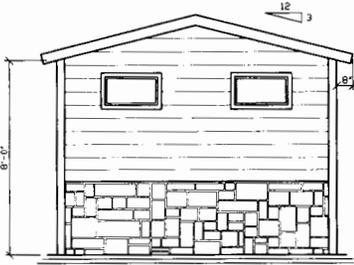


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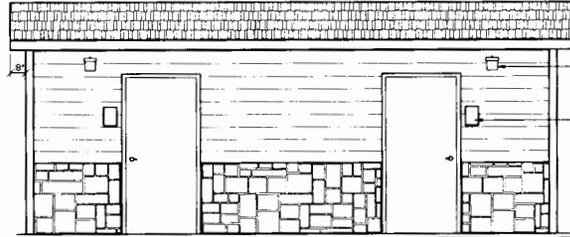
4154 123RD ST
CHIPPEWA FALLS, WI

— RESTROOM —

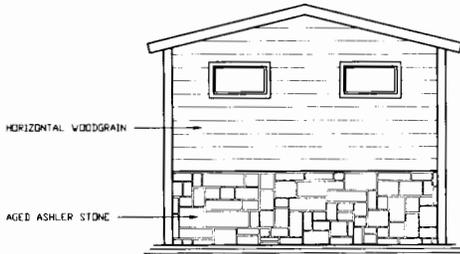
BOBCCAT FLOOR PLAN



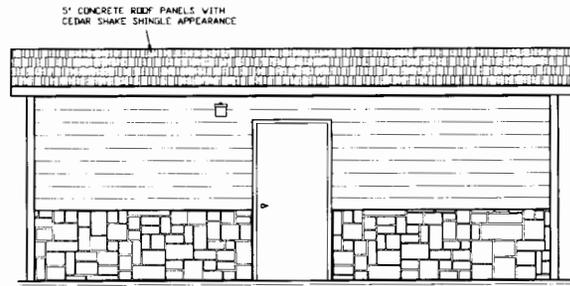
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



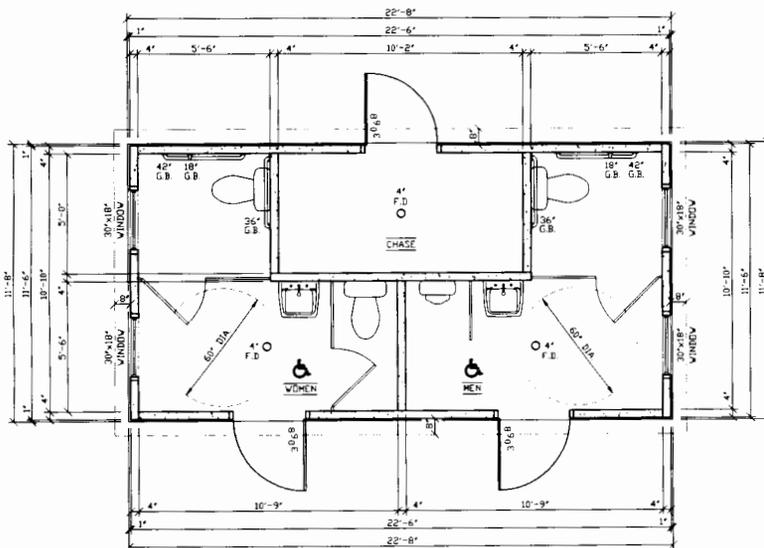
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"



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4154 123RD ST
CHIPPEWA FALLS, WI

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete restroom building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural and foundation design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
 - 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS
 - 1.1. Doors and Frames
 - 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
 - 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.
 - 1.3. Windows
 - 1.3.1. Vinyl frame, obscure glass, operable. Parco or equal.
 - 1.4. Plumbing
 - 1.4.1. Stools
 - 1.4.1.1. Kohler porcelain wall mounted, ADA compliant, elongated bowl.
 - 1.4.1.2. Sloan flush valve, concealed, hydraulic actuator.
 - 1.4.2. Urinal
 - 1.4.2.1. Kohler porcelain wall mounted, ADA compliant.
 - 1.4.2.2. Sloan flush valve, concealed, hydraulic actuator.
 - 1.4.3. Lavatories
 - 1.4.3.1. Kohler wall mounted sink, ADA compliant.

1.4.3.2. Moen single handle ADA metering faucet.

1.4.4. Water Heater

1.4.4.1. Bradford white electric water heater. Size to be sufficient for number of showers and lavatories.

1.4.5. Mixing Valve

1.4.5.1. Honeywell thermostatic mixing valve, adjustable.

1.4.6. Floor Drains

1.4.6.1. Sioux Chief on grade adjustable floor drain.

1.4.7. Sediment Filter

1.4.7.1. Rusco sediment filter.

1.5. Electrical

1.5.1. Interior

1.5.1.1. RAB Vandalproof Tuff Dome motion sensor.

1.5.1.2. RAB VAN1 lights.

1.5.1.3. GFI receptacles.

1.5.1.4. Murdock super secure.

1.5.2. Exterior

1.5.2.1. RAB Tallpack lights.

1.5.3. Chase

1.5.3.1. 100amp loadcenter.

1.5.3.2. (2) 2 bulb florescent lamps. (1 per modular section)

1.5.3.3. Soler & Palau exhaust fan.

1.6. Interior Hardware

1.6.1. Stainless 3 roll toilet paper dispenser.

1.6.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.

1.6.3. Stainless frame 18" x 36" mirror.

1.6.4. (2) coat hooks

1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE FAMILY STYLE RESTROOM – SHOWER BUILDING

1.1. Building manufacturer shall construct, assemble, paint, install plumbing and electrical at their plant so that it may be transported to the jobsite in finished modules and placed using a crane.

1.2. Building manufacturer shall provide mechanical rough in drawing showing where electrical, water supply line, waste line, and floor drains are to be located for hook up to building.

1.3. Contractor will make final mechanical connections after the building is placed by manufacturer.

1.4. Manufacturer will caulk interior and exterior seams between modules. Manufacturer will also perform any shipping and handling repairs during installation.

2. ONSITE

2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.

2.2. Contractor shall design and pour a foundation suitable for building to sit on. Foundation shall be level to within ¼".

2.3. Contractor shall rough in mechanicals according to mechanical rough in drawing provided by building manufacturer. Mechanicals shall be terminated at top of foundation. Final mechanical connections shall be done by contractor including floor drains.

2.4. Contractor will perform initial startup of building using O & M manual as a reference. Contractor will also perform any troubleshooting during initial startup.

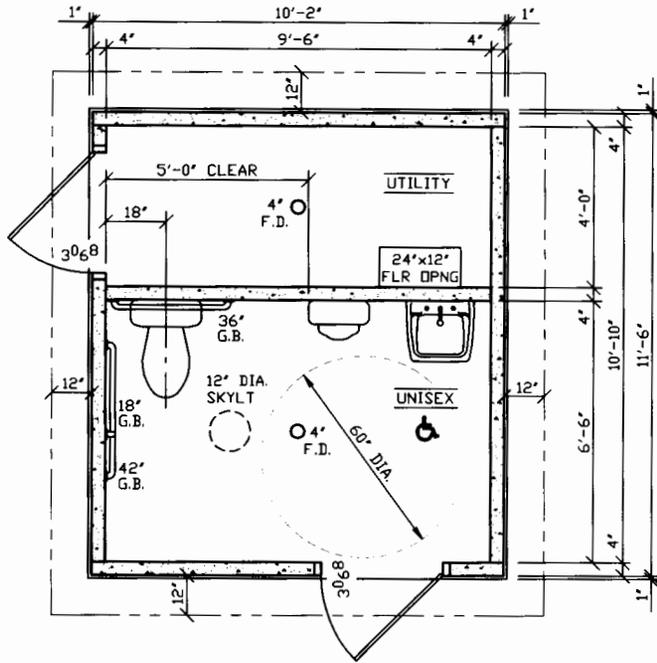


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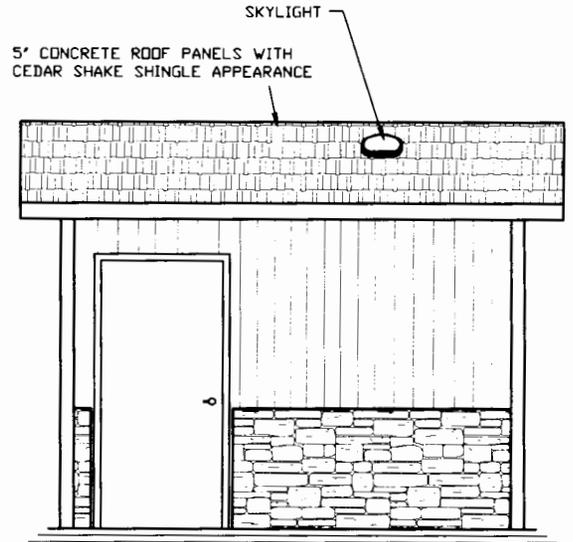
4154 123RD ST
CHIPPEWA FALLS, WI

— RESTROOM —

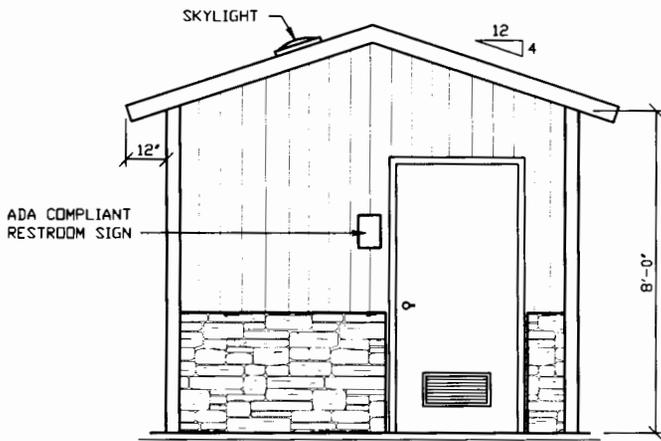
LYNX FLOOR PLAN



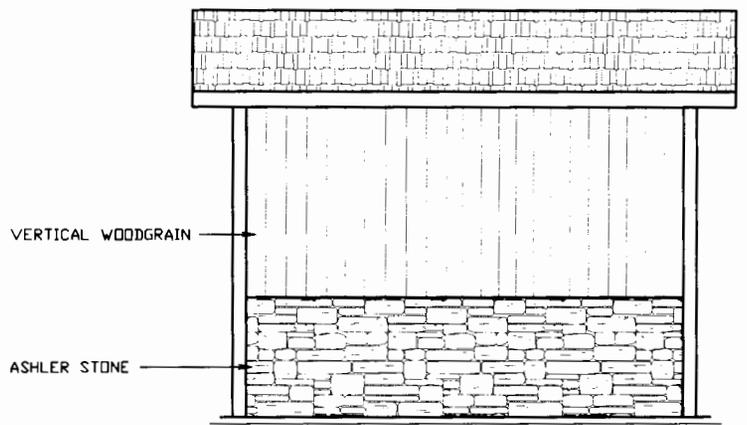
FLOOR PLAN
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"
(REAR ELEVATION SIMILAR, EXCEPT NO DOOR)



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



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4154 123RD ST
CHIPPEWA FALLS, WI

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete restroom building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural and foundation design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
 - 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS

1.1. Doors and Frames

- 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
- 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.

1.3. Windows

- 1.3.1. Vinyl frame, obscure glass, operable. Parco or equal.

1.4. Plumbing

1.4.1. Stools

- 1.4.1.1. Kohler porcelain wall mounted, ADA compliant, elongated bowl.
- 1.4.1.2. Sloan flush valve, concealed, hydraulic actuator.

1.4.2. Urinal

- 1.4.2.1. Kohler porcelain wall mounted, ADA compliant.
- 1.4.2.2. Sloan flush valve, concealed, hydraulic actuator.

1.4.3. Lavatories

- 1.4.3.1. Kohler wall mounted sink, ADA compliant.

1.4.3.2. Moen single handle ADA metering faucet.

1.4.4. Water Heater

1.4.4.1. Bradford white electric water heater. Size to be sufficient for number of showers and lavatories.

1.4.5. Mixing Valve

1.4.5.1. Honeywell thermostatic mixing valve, adjustable.

1.4.6. Floor Drains

1.4.6.1. Sioux Chief on grade adjustable floor drain.

1.4.7. Sediment Filter

1.4.7.1. Rusco sediment filter.

1.5. Electrical

1.5.1. Interior

1.5.1.1. RAB Vandalproof Tuff Dome motion sensor.

1.5.1.2. RAB VAN1 lights.

1.5.1.3. GFI receptacles.

1.5.1.4. Murdock super secure.

1.5.2. Exterior

1.5.2.1. RAB Tallpack lights.

1.5.3. Chase

1.5.3.1. 100amp loadcenter.

1.5.3.2. (2) 2 bulb florescent lamps. (1 per modular section)

1.5.3.3. Soler & Palau exhaust fan.

1.6. Interior Hardware

1.6.1. Stainless 3 roll toilet paper dispenser.

1.6.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.

1.6.3. Stainless frame 18" x 36" mirror.

1.6.4. (2) coat hooks

1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE FAMILY STYLE RESTROOM – SHOWER BUILDING

1.1. Building manufacturer shall construct, assemble, paint, install plumbing and electrical at their plant so that it may be transported to the jobsite in finished modules and placed using a crane.

1.2. Building manufacturer shall provide mechanical rough in drawing showing where electrical, water supply line, waste line, and floor drains are to be located for hook up to building.

1.3. Contractor will make final mechanical connections after the building is placed by manufacturer.

1.4. Manufacturer will caulk interior and exterior seams between modules. Manufacturer will also perform any shipping and handling repairs during installation.

2. ONSITE

2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.

2.2. Contractor shall design and pour a foundation suitable for building to sit on. Foundation shall be level to within ¼".

2.3. Contractor shall rough in mechanicals according to mechanical rough in drawing provided by building manufacturer. Mechanicals shall be terminated at top of foundation. Final mechanical connections shall be done by contractor including floor drains.

2.4. Contractor will perform initial startup of building using O & M manual as a reference. Contractor will also perform any troubleshooting during initial startup.



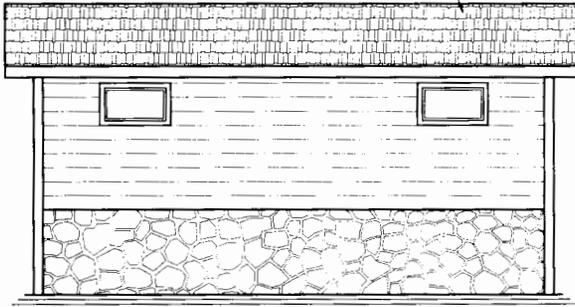
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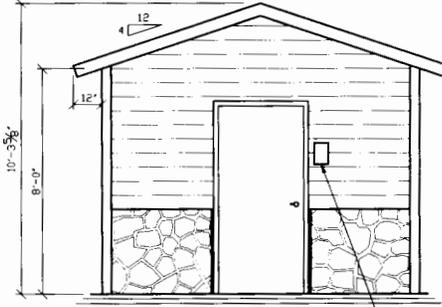
— RESTROOM —

WOLVERINE FLOOR PLAN

5' CONCRETE ROOF PANELS WITH CEDAR SHAKE SHINGLE APPEARANCE

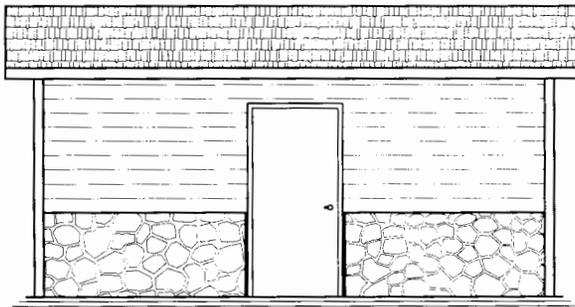


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

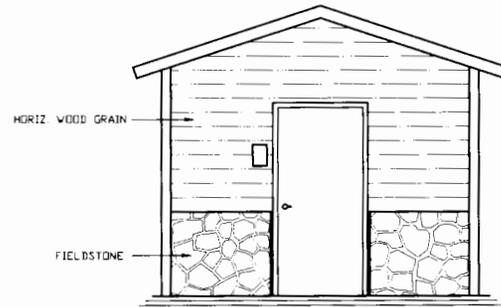


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

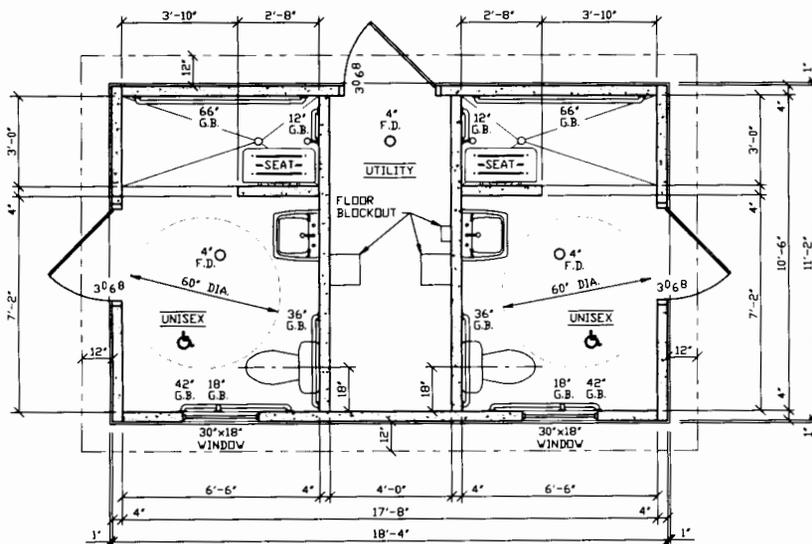
ADA COMPLIANT RESTROOM SIGN



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"



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SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete family style restroom – shower building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural and foundation design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
 - 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS
 - 1.1. Doors and Frames
 - 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
 - 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.
 - 1.3. Windows
 - 1.3.1. Vinyl frame, obscure glass, non-operable. Parco or equal.
 - 1.4. Plumbing
 - 1.4.1. Stools
 - 1.4.1.1. Kohler porcelain wall mounted, ADA compliant, elongated bowl.
 - 1.4.1.2. Sloan flush valve, concealed, hydraulic actuator.
 - 1.4.2. Urinal
 - 1.4.2.1. Kohler porcelain wall mounted, ADA compliant.
 - 1.4.2.2. Sloan flush valve, concealed, hydraulic actuator.
 - 1.4.3. Lavatories
 - 1.4.3.1. Kohler wall mounted sink, ADA compliant.

1.4.3.2. Moen single handle ADA metering faucet.

1.4.4. Water Heater

1.4.4.1. Bradford white electric water heater. Size to be sufficient for number of showers and lavatories.

1.4.5. Mixing Valve

1.4.5.1. Honeywell thermostatic mixing valve, adjustable.

1.4.6. Shower

1.4.6.1. Acorn Penal-Ware Series, ADA compliant.

1.4.7. Floor Drains

1.4.7.1. Sioux Chief on grade adjustable floor drain.

1.4.8. Sediment Filter

1.4.8.1. Rusco sediment filter.

1.5. Electrical

1.5.1. Interior

1.5.1.1. RAB Vandalproof Tuff Dome motion sensor.

1.5.1.2. RAB VAN1 lights.

1.5.1.3. GFI receptacles.

1.5.1.4. Murdock super secure.

1.5.2. Exterior

1.5.2.1. RAB Tallpack lights.

1.5.3. Chase

1.5.3.1. 100amp loadcenter.

1.5.3.2. (2) 2 bulb florescent lamps. (1 per modular section)

1.5.3.3. Soler & Palau exhaust fan.

1.6. Interior Hardware

1.6.1. Stainless 3 roll toilet paper dispenser.

1.6.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.

1.6.3. ADA showers shall have (1) 18" stainless vertical grab bar, (1) 30" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.

1.6.4. Stainless frame 18" x 36" mirror.

1.6.5. Bradley ADA compliant reversible phenolic shower seat.

1.6.6. (2) coat hooks

1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE FAMILY STYLE RESTROOM – SHOWER BUILDING

1.1. Building manufacturer shall construct, assemble, paint, install plumbing and electrical at their plant so that it may be transported to the jobsite in finished modules and placed using a crane.

1.2. Building manufacturer shall provide mechanical rough in drawing showing where electrical, water supply line, waste line, and floor drains are to be located for hook up to building.

1.3. Contractor will make final mechanical connections after the building is placed by manufacturer.

1.4. Manufacturer will caulk interior and exterior seams between modules. Manufacturer will also perform any shipping and handling repairs during installation.

2. ONSITE

2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.

2.2. Contractor shall design and pour a foundation suitable for building to sit on. Foundation shall be level to within ¼".

2.3. Contractor shall rough in mechanicals according to mechanical rough in drawing provided by building manufacturer. Mechanicals shall be terminated at top of foundation. Final mechanical connections shall be done by contractor including floor drains.

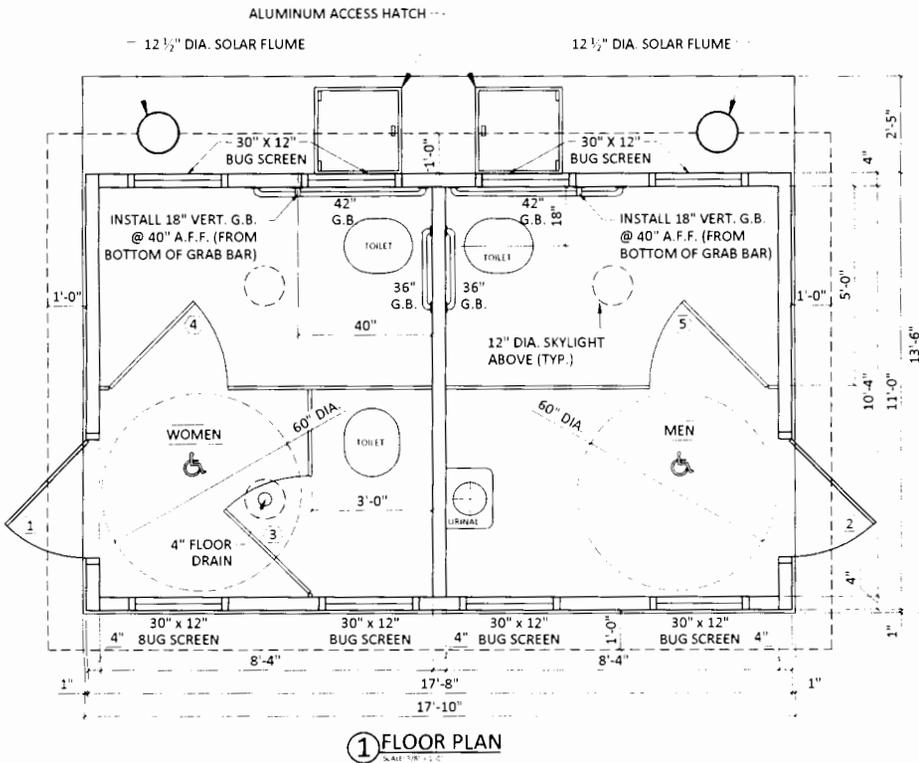
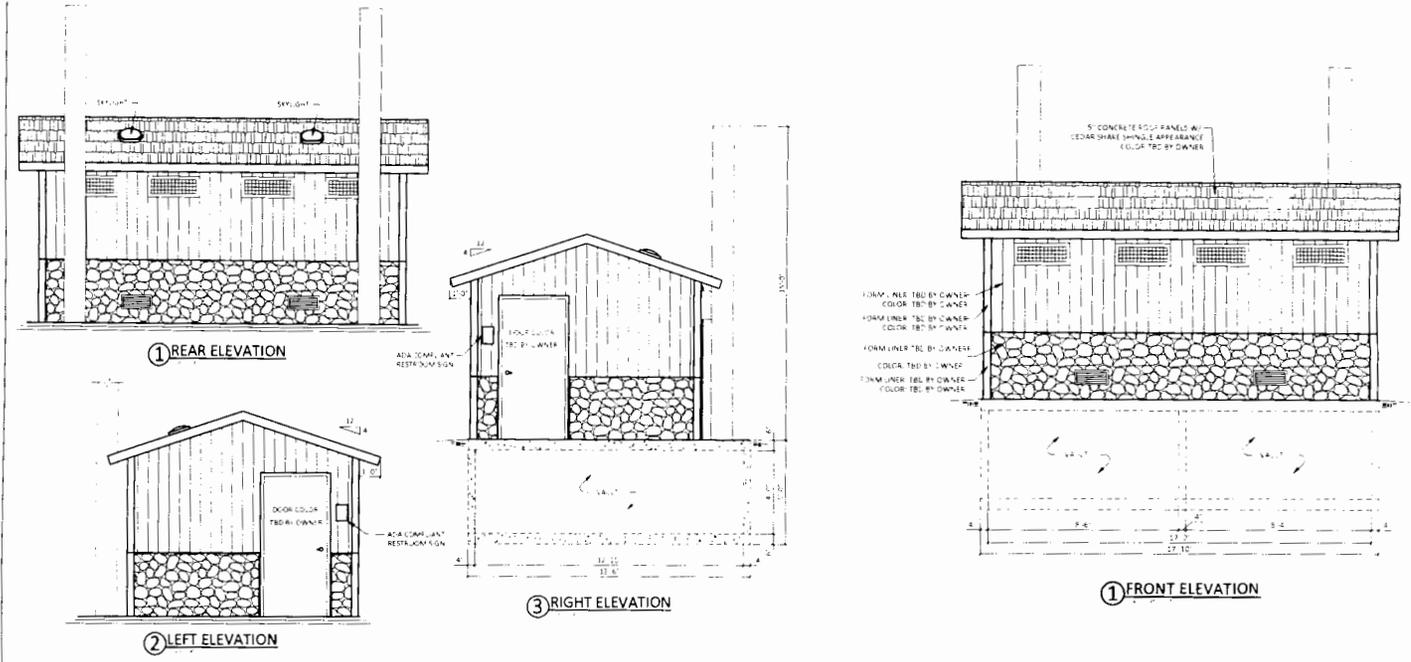


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— VAULT —

MALLARD FLOOR PLAN



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4154 123RD ST
CHIPPEWA FALLS, WI

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete vault toilet building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
 - 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS
 - 1.1. Doors and Frames
 - 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
 - 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.
 - 1.3. Windows
 - 1.3.1. Vinyl frame, bug screen and security mesh. Parco or equal.
 - 1.4. Interior Hardware
 - 1.4.1. Stainless 3 roll toilet paper dispensers.
 - 1.4.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.4.3. Stainless floor mounted urinal.
 - 1.4.4. Plastic handicap toilet riser. Romtec or equal.
 - 1.5. Vent Pipes
 - 1.5.1. Vent pipes shall be 12" and made of HDPE. Vent pipe shall extend approximately 36" above the roof line.
 - 1.6. Access/Clean Out Hatch

1.6.1. Access/clean out hatch shall have a 24" x 24" clear opening, made from aluminum and be rated for a 300 psf pedestrian load. Cover shall be hinged with a kickstand to prevent accidental closing. Cover shall include a slam lock with T handle for locking.

1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

1.9. Vault

1.9.1. Vault shall be lined with a factory installed membrane. Marflex 5000 or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE VAULT TOILET BUILDING

1.1. Building manufacturer shall construct, assemble, and paint at their plant so that it may be transported to the jobsite as a finished module and placed using a crane.

2. ONSITE

2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.

2.2. Contractor shall provide all excavation, backfilling, and finish grading for vault toilet building. In addition contractor shall provide suitable bedding of sand or granular material for the vault.

2.3. Manufacturer will install HDPE vent pipes and perform any shipping and handling adjustments and repairs.

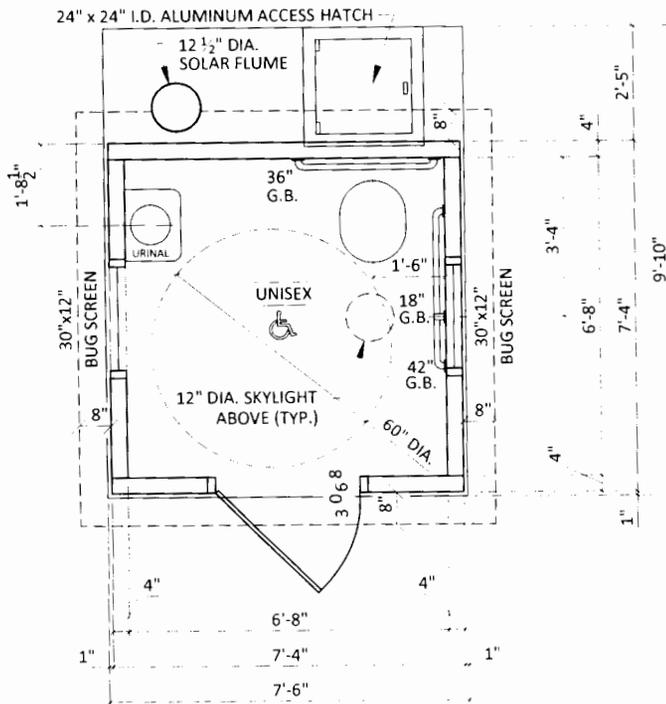
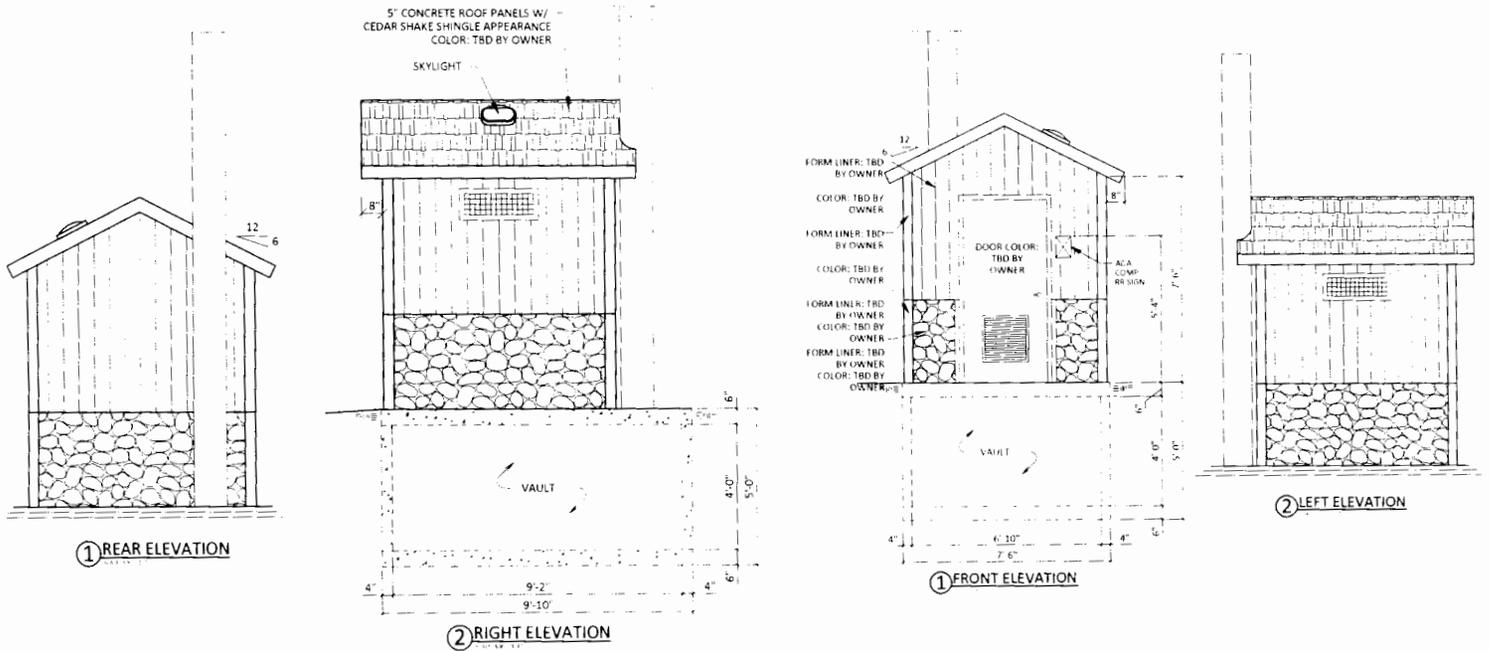


715.723.7446
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4154 123RD ST
CHIPPEWA FALLS, WI

— VAULT —

TEAL FLOOR PLAN



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



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4154 123RD ST
CHIPPEWA FALLS, WI

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete vault toilet building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
 - 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS
 - 1.1. Doors and Frames
 - 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
 - 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.
 - 1.3. Windows
 - 1.3.1. Vinyl frame, bug screen and security mesh. Parco or equal.
 - 1.4. Interior Hardware
 - 1.4.1. Stainless 3 roll toilet paper dispensers.
 - 1.4.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.4.3. Stainless floor mounted urinal.
 - 1.4.4. Plastic handicap toilet riser. Romtec or equal.
 - 1.5. Vent Pipes
 - 1.5.1. Vent pipes shall be 12" and made of HDPE. Vent pipe shall extend approximately 36" above the roof line.
 - 1.6. Access/Clean Out Hatch

1.6.1. Access/clean out hatch shall have a 24" x 24" clear opening, made from aluminum and be rated for a 300 psf pedestrian load. Cover shall be hinged with a kickstand to prevent accidental closing. Cover shall include a slam lock with T handle for locking.

1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

1.9. Vault

1.9.1. Vault shall be lined with a factory installed membrane. Marflex 5000 or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE VAULT TOILET BUILDING

1.1. Building manufacturer shall construct, assemble, and paint at their plant so that it may be transported to the jobsite as a finished module and placed using a crane.

2. ONSITE

2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.

2.2. Contractor shall provide all excavation, backfilling, and finish grading for vault toilet building. In addition contractor shall provide suitable bedding of sand or granular material for the vault.

2.3. Manufacturer will install HDPE vent pipes and perform any shipping and handling adjustments and repairs.

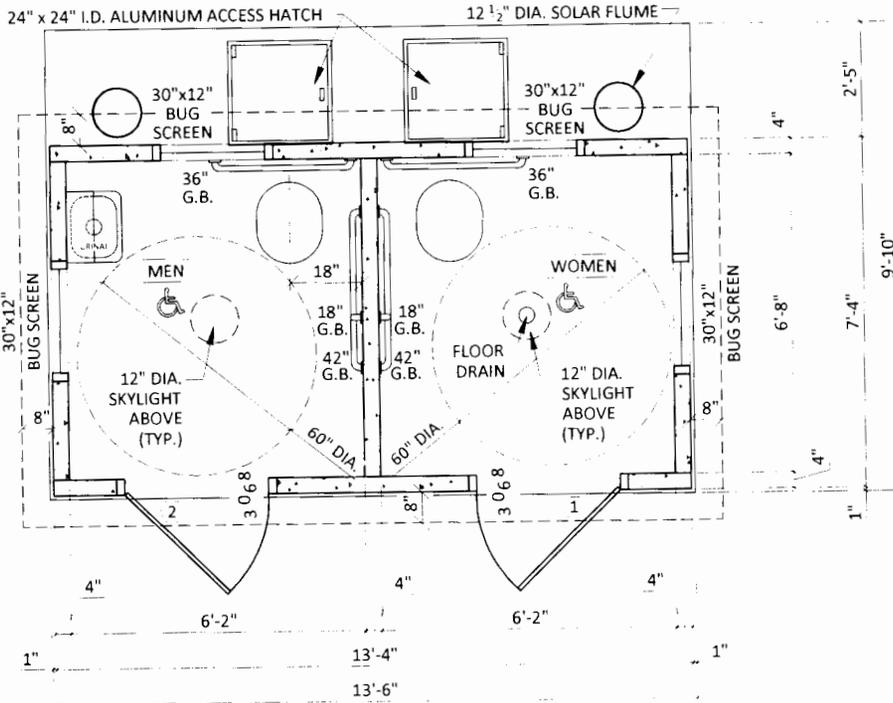
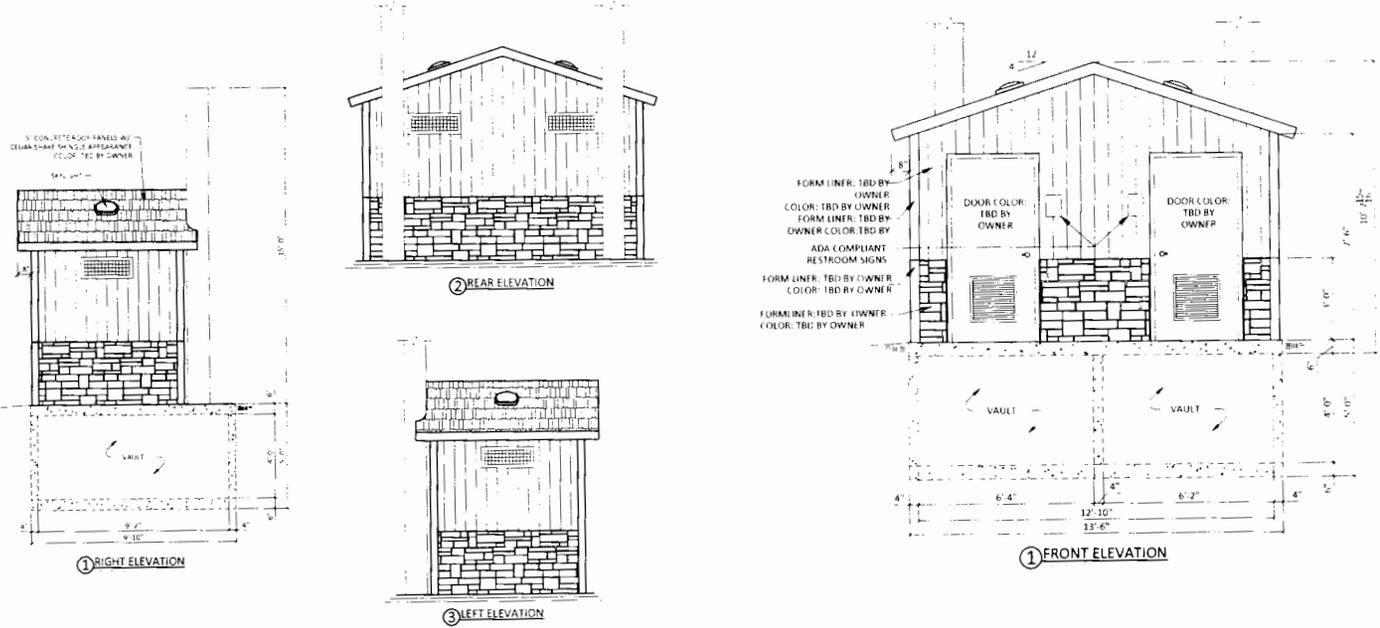


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4154 123RD ST
CHIPPEWA FALLS, WI

— VAULT —

WOOD DUCK FLOOR PLAN



1 FLOOR PLAN

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4154 123RD ST
CHIPPEWA FALLS, WI

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete vault toilet building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
 - 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS
 - 1.1. Doors and Frames
 - 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
 - 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.
 - 1.3. Windows
 - 1.3.1. Vinyl frame, bug screen and security mesh. Parco or equal.
 - 1.4. Interior Hardware
 - 1.4.1. Stainless 3 roll toilet paper dispensers.
 - 1.4.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.4.3. Stainless floor mounted urinal.
 - 1.4.4. Plastic handicap toilet riser. Romtec or equal.
 - 1.5. Vent Pipes
 - 1.5.1. Vent pipes shall be 12" and made of HDPE. Vent pipe shall extend approximately 36" above the roof line.
 - 1.6. Access/Clean Out Hatch

1.6.1. Access/clean out hatch shall have a 24" x 24" clear opening, made from aluminum and be rated for a 300 psf pedestrian load. Cover shall be hinged with a kickstand to prevent accidental closing. Cover shall include a slam lock with T handle for locking.

1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

1.9. Vault

1.9.1. Vault shall be lined with a factory installed membrane. Marflex 5000 or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE VAULT TOILET BUILDING

1.1. Building manufacturer shall construct, assemble, and paint at their plant so that it may be transported to the jobsite as a finished module and placed using a crane.

2. ONSITE

2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.

2.2. Contractor shall provide all excavation, backfilling, and finish grading for vault toilet building. In addition contractor shall provide suitable bedding of sand or granular material for the vault.

2.3. Manufacturer will install HDPE vent pipes and perform any shipping and handling adjustments and repairs.

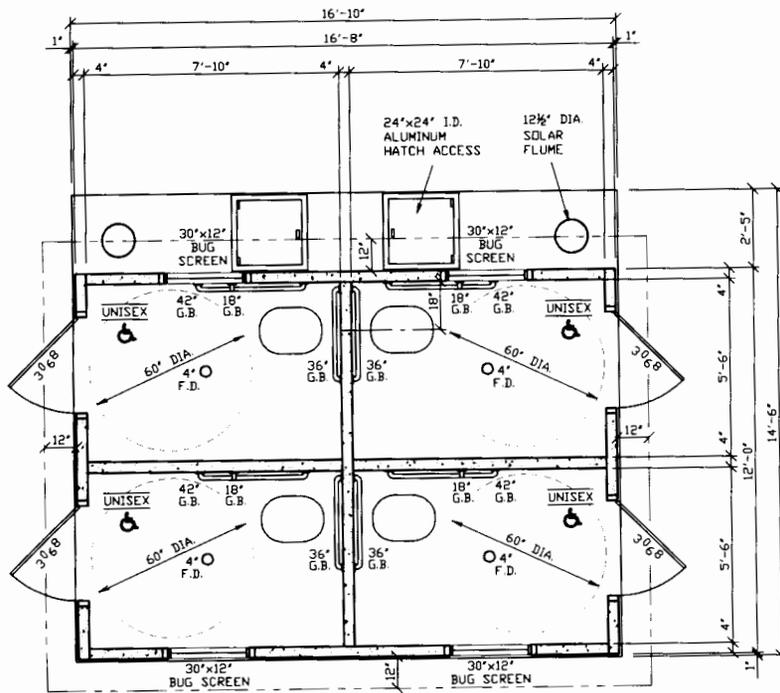
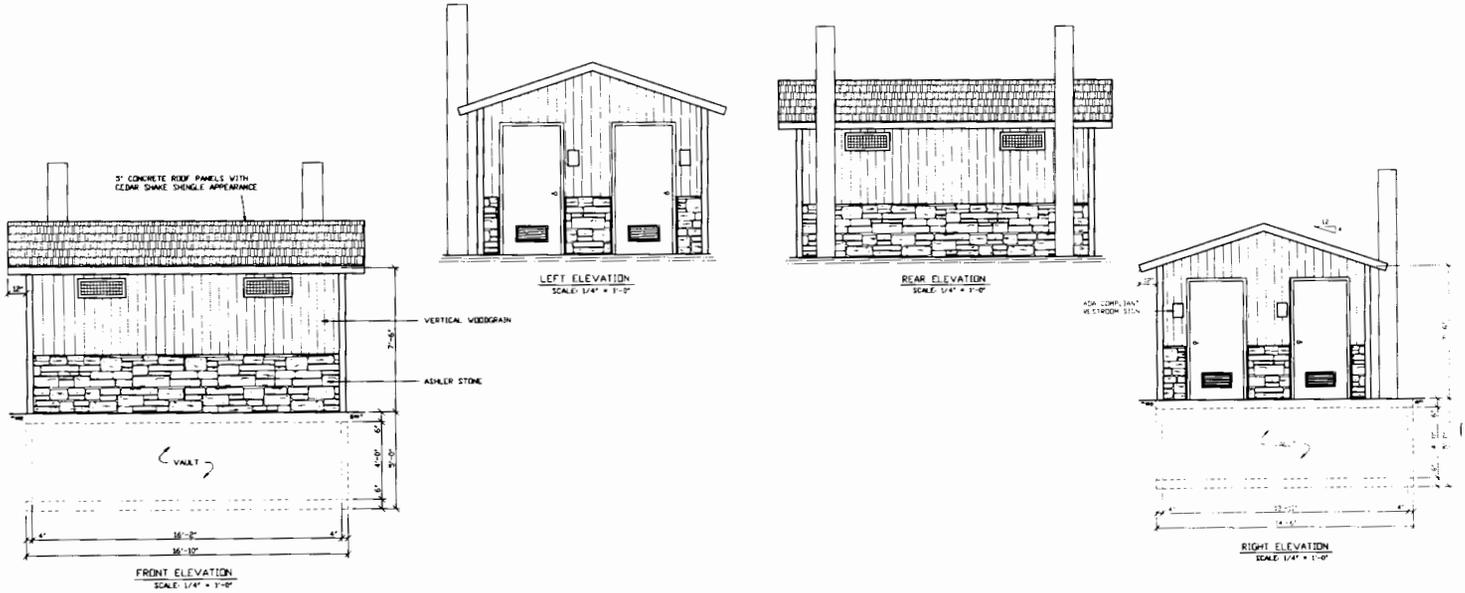


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4154 123RD ST
CHIPPEWA FALLS, WI

— VAULT —

CANVASBACK FLOOR PLAN



FLOOR PLAN
SCALE: 1/4" = 1'-0"



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4154 123RD ST
CHIPPEWA FALLS, WI

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete vault toilet building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
 - 4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS
 - 1.1. Doors and Frames
 - 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
 - 1.2. Door Hardware
 - 1.2.1. Aluminum drip cap. Reese or equal.
 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
 - 1.2.5. Brush style sweep. Reese or equal.
 - 1.2.6. ADA compliant threshold. Reese or equal.
 - 1.3. Windows
 - 1.3.1. Vinyl frame, bug screen and security mesh. Parco or equal.
 - 1.4. Interior Hardware
 - 1.4.1. Stainless 3 roll toilet paper dispensers.
 - 1.4.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.4.3. Stainless floor mounted urinal.
 - 1.4.4. Plastic handicap toilet riser. Romtec or equal.
 - 1.5. Vent Pipes
 - 1.5.1. Vent pipes shall be 12" and made of HDPE. Vent pipe shall extend approximately 36" above the roof line.
 - 1.6. Access/Clean Out Hatch

1.6.1. Access/clean out hatch shall have a 24" x 24" clear opening, made from aluminum and be rated for a 300 psf pedestrian load. Cover shall be hinged with a kickstand to prevent accidental closing. Cover shall include a slam lock with T handle for locking.

1.7. Sealers

1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

1.8. Caulks and Grout

1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface. Speed Crete Red Line or equal.

1.9. Vault

1.9.1. Vault shall be lined with a factory installed membrane. Marflex 5000 or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.

2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE VAULT TOILET BUILDING

1.1. Building manufacturer shall construct, assemble, and paint at their plant so that it may be transported to the jobsite as a finished module and placed using a crane.

2. ONSITE

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2.2. Contractor shall provide all excavation, backfilling, and finish grading for vault toilet building. In addition contractor shall provide suitable bedding of sand or granular material for the vault.

2.3. Manufacturer will install HDPE vent pipes and perform any shipping and handling adjustments and repairs.

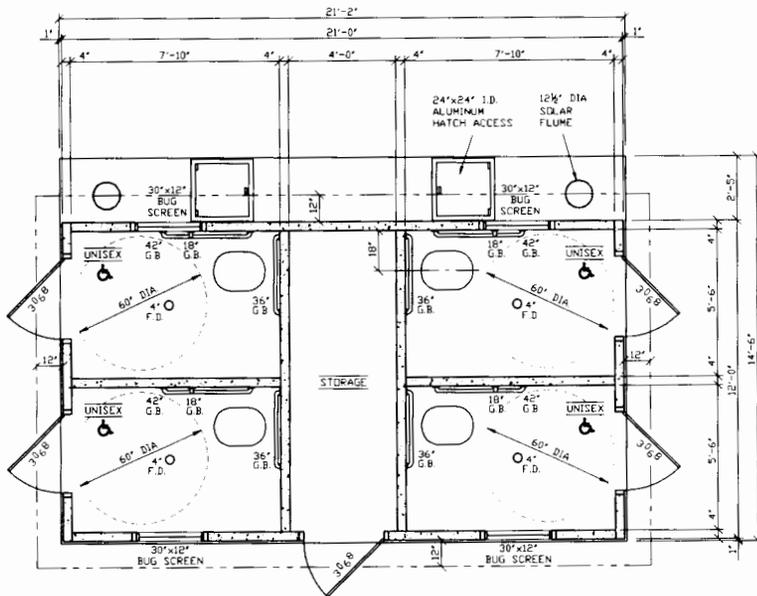
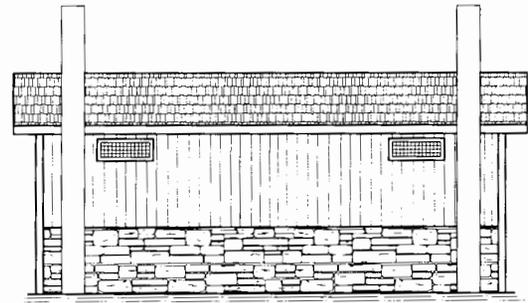
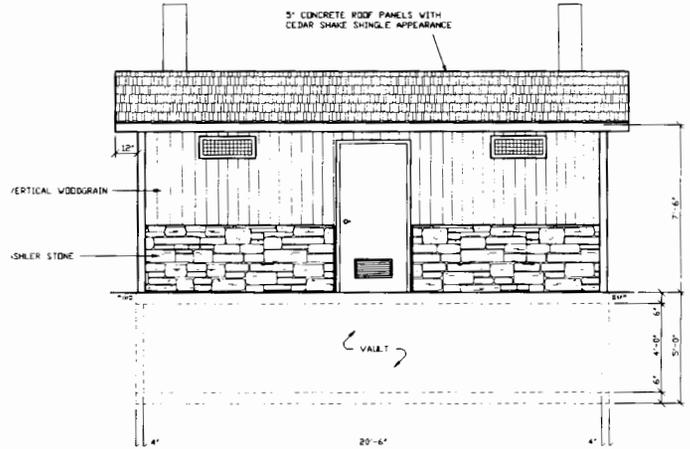
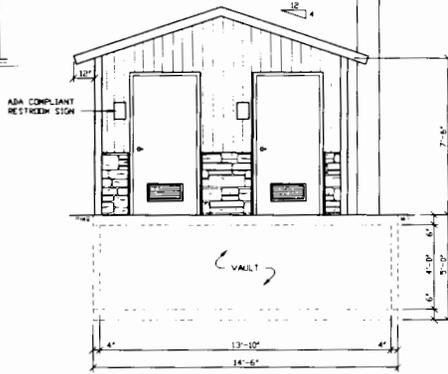
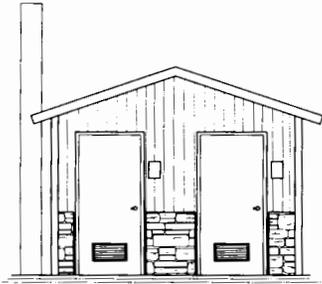


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4154 123RD ST
CHIPPEWA FALLS, WI

— VAULT —

PINTAIL FLOOR PLAN



FLOOR PLAN
SCALE: 1/4" = 1'-0"



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4154 123RD ST
CHIPPEWA FALLS, WI

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE
 - 1.1. Construction and onsite placement of a prefabricated precast concrete vault toilet building.
2. MANUFACTURER
 - 2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.
 - 2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.
 - 2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.
3. DESIGN
 - 3.1. Building will be manufactured using precast concrete including the roof. Building's structural design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.
4. SUBMITTALS
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1. MATERIALS
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 - 1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.
 - 1.2. Door Hardware
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 - 1.2.2. Door closure with hold open. Cal-Royal or equal.
 - 1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.
 - 1.2.4. Grade 1 lockset. Function and keying to be verified with owner.
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 - 1.2.6. ADA compliant threshold. Reese or equal.
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1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.

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1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

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1.9. Vault

1.9.1. Vault shall be lined with a factory installed membrane. Marflex 5000 or equal.

2. FINISHES

2.1. Interior

2.1.1. Smooth trowel finish.

2.2. Exterior

2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.

2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.

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2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE VAULT TOILET BUILDING

1.1. Building manufacturer shall construct, assemble, and paint at their plant so that it may be transported to the jobsite as a finished module and placed using a crane.

2. ONSITE

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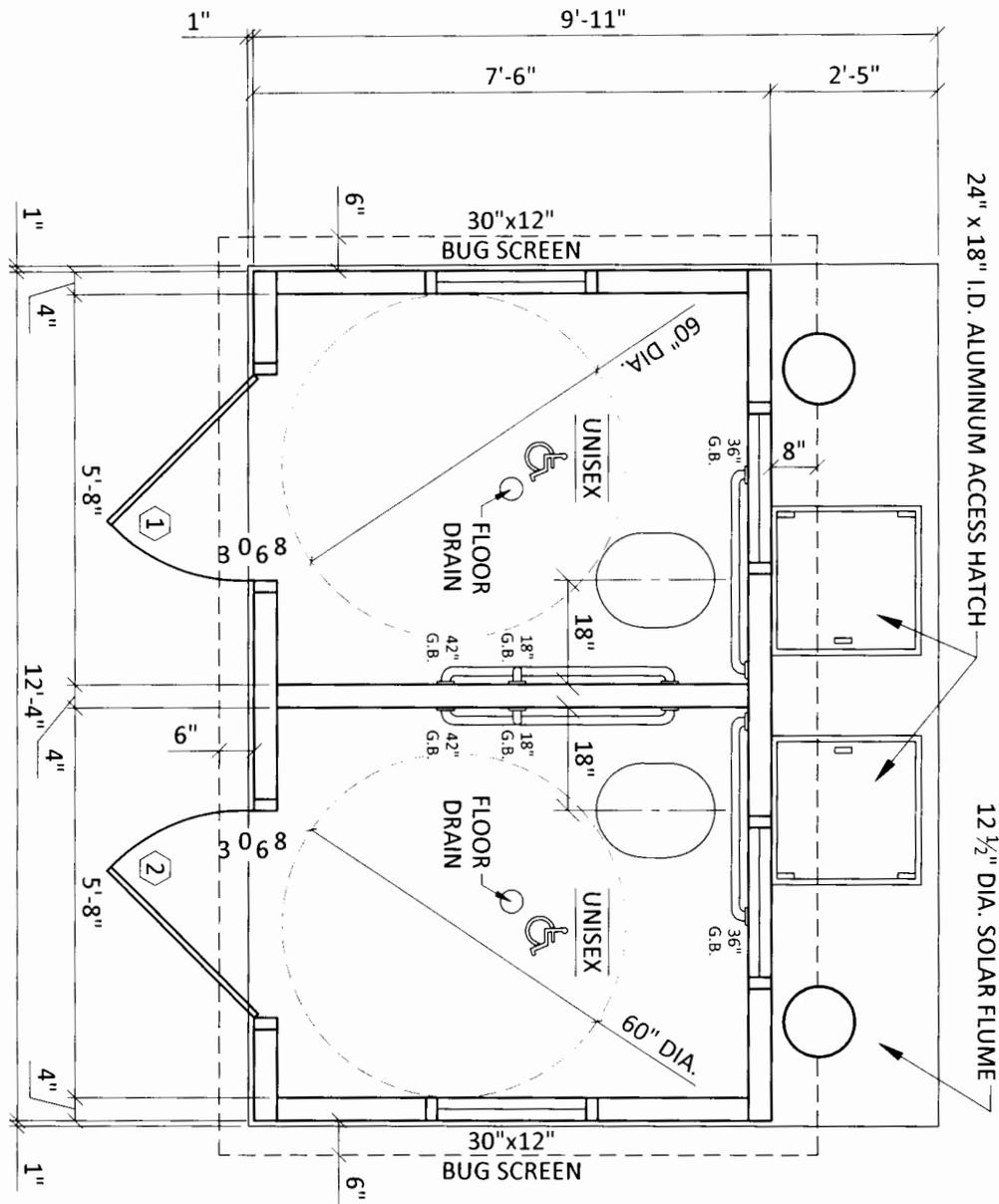
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715.723.7446
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4154 123RD ST
CHIPPEWA FALLS, WI



1 FLOOR PLAN
SCALE: 3/8" = 1'-0"

PROJECT:
FOR REFERENCE ONLY



4154 123rd STREET
CHIPPEWA FALLS, WI 54729
(715) 723-7446 * (800) 924-1516
FAX (715) 723-7111 * www.huffcutt.com

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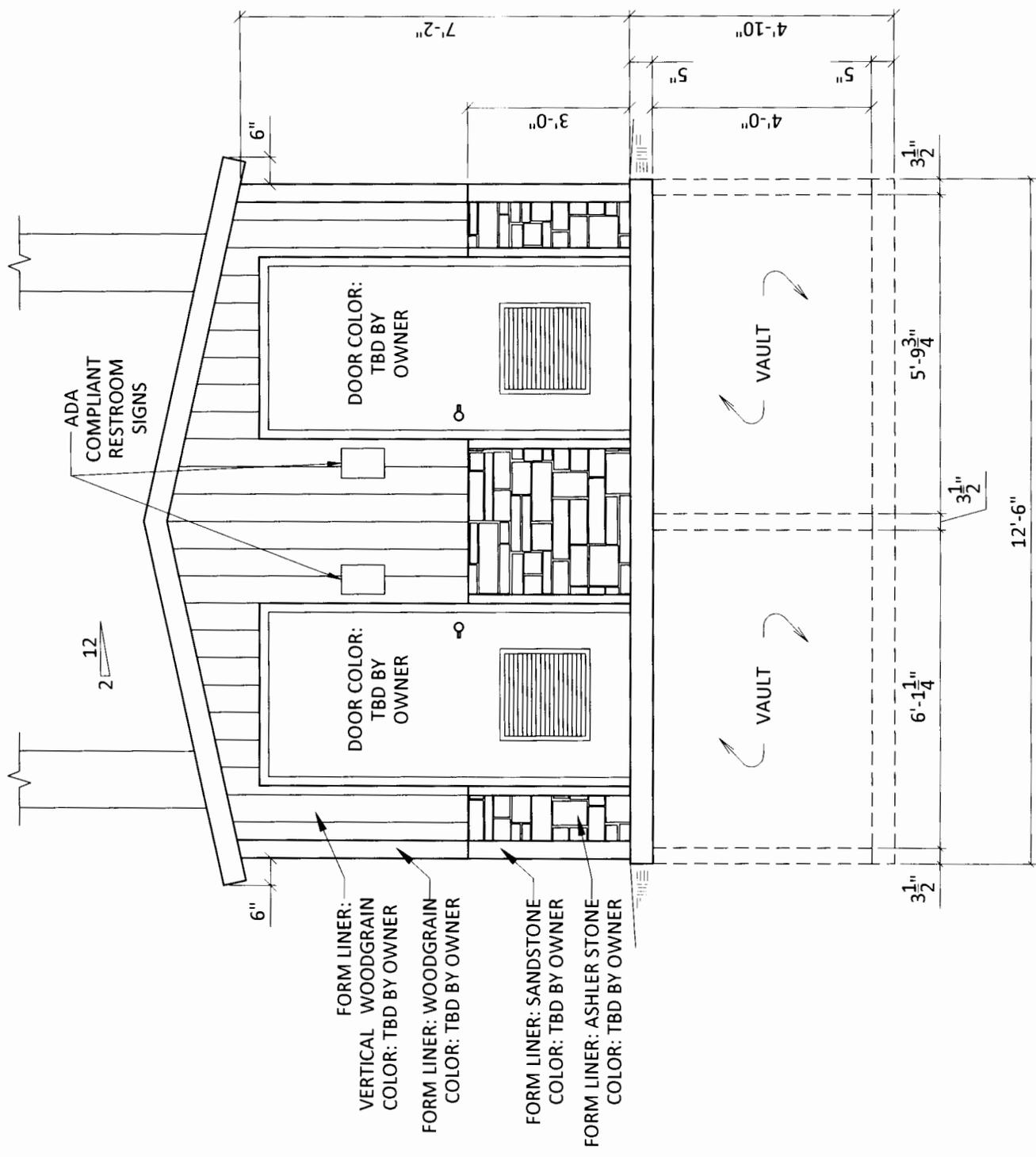


PRELIMINARY DRAWINGS
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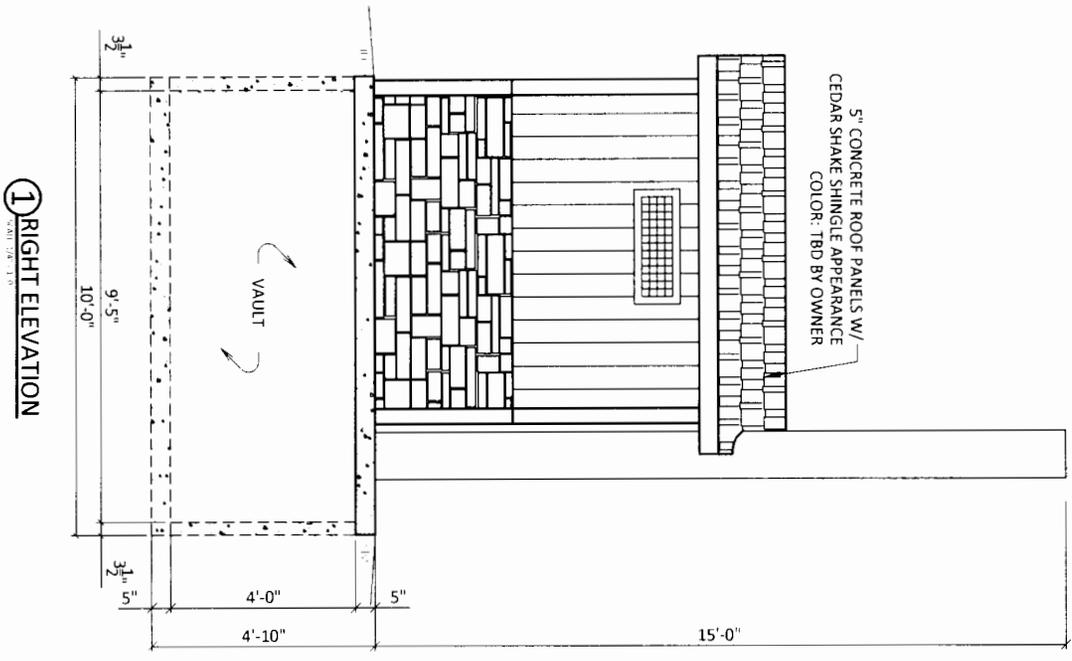
4154 123rd STREET
 CHIPPEWA FALLS, WI 54729
 (715) 723-7446 • (800) 924-1516
 www.huffcutt.com

HUFFCUTT
 CONCRETE, INC.
 N.P.C.A. CERTIFIED PLANT

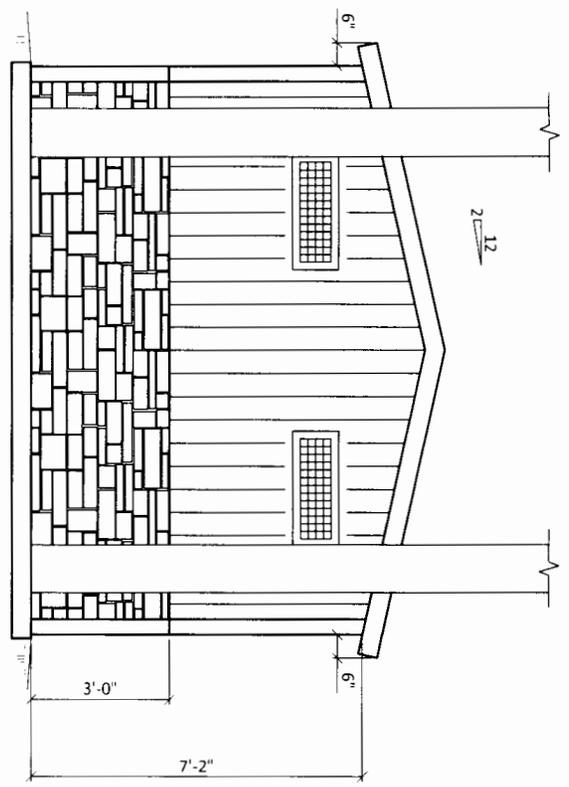
PROJECT:
 FOR REFERENCE ONLY



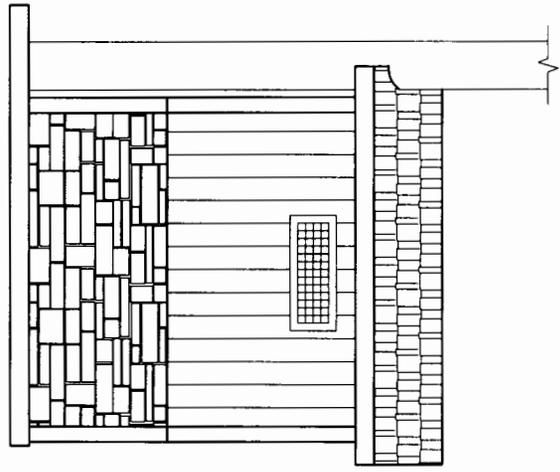
① FRONT ELEVATION
 SCALE: 3/8" = 1'-0"



1 RIGHT ELEVATION



2 REAR ELEVATION



3 LEFT ELEVATION

PROJECT:
FOR REFERENCE ONLY

HUFFCUTT
CONCRETE, INC
N.P.C.A. CERTIFIED PLANT

4154 123rd STREET
CHIPPEWA FALLS, WI 54729
(715) 723-7446 * (800) 924-1516
FAX (715) 723-7111 * www.huffcutt.com

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PRELIMINARY DRAWINGS	
SUBMITTAL DRAWINGS	
CHECK SET	
PRODUCTION DRAWINGS	
PROJECT DELIVERY DATE	



ORDINANCE NO. -2019

Amending Chapter 187 Parks and Recreation, Article III. Park Rules and Regulations

The County Board of Supervisors of Green Lake County, Green Lake Wisconsin, duly assembled at its regular meeting begun on the th day of 2019, does ordain as follows:

- 1 WHEREAS, currently Section K. of Ordinance §187-8 does not allow for "carnivals or
2 other money-making enterprises" in County parks; and
3 WHEREAS, there have been non-profit entities that have requested permission to hold
4 fund raising activities while sponsoring or holding activities within County parks.

Roll Call on Ordinance No. -2019

Submitted by Parks Commission:

Ayes , Nays , Absent , Abstain

Passed and Enacted/Rejected this DATE
day of MONTH, 2019.

William Boutwell, Chair

Jerry Specht, Vice-chair

County Board Chairman

Vicki Bernhagen

ATTEST: County Clerk
Approve as to Form:

Todd Morris

Corporation Counsel

Vonn Roberts

Michael Shattuck

Curt Talma

6 **WHEREAS**, the Parks Commission and the Property and Insurance Committee have
7 reviewed the ordinance and desire an amendment to the ordinance which would allow
8 non-profit entities to fundraise in county parks.

9 **WHEREAS**, after review and study, there is no mechanism for individuals or organizations
10 to reserve park facilities, shelters or areas of County Parks, and an application system
11 should be implemented to provide equal treatment for those individuals and organizations
12 which desire to reserve park facilities, shelters or areas of County Parks for exclusive use.

13 **NOW, THEREFORE, THE COUNTY BOARD OF SUPERVISORS OF THE COUNTY**
14 **OF GREEN LAKE DOES ORDAIN AS FOLLOWS:**

15 Section 1. Green Lake County Ordinance, Section. 187-8 K. is amended as follows:

16 ~~K. No carnivals or other money-making enterprises shall be permitted on any park or~~
17 ~~recreational area grounds except for the sale of merchandise by the concessionaire at~~
18 ~~Margaret Dodge Memorial Park. Disc golf will be allowed at Zobel Memorial Park, and~~
19 ~~fund raising will be allowed to support the disc golf course.~~

20 Section 2. Green Lake County Ordinance, Section 187-8.2 is created:

21 187-8.2 Reservation of Park Space or Recreation Facilities

22 A. Policy on Reservation. The County-owned parks, park facilities and shelter areas
23 are primarily for the non-exclusive use of the residents and visitors to the County.
24 However, under proper circumstances, the exclusive use of the parks, park facilities
25 and shelter areas or parts thereof may be permitted. This Ordinance is intended to
26 regulate exclusive use of the County's parks, park facilities and shelter areas or
27 parts thereof, excluding camping areas, in the County so that the general welfare of
28 the County is protected.

29 B. Reservation of Park and Recreational Facility Space. A person, group, firm,
30 organization, partnership or corporation may reserve the use of a park, recreation
31 facility or park shelter by written application filed with the County Clerk for a permit
32 for exclusive use of the same. The County Clerk shall forward the application to the
33 Maintenance Supervisor to review the application. The Maintenance Supervisor
34 shall have authority to issue a permit for the exclusive use of a recreation facility or
35 park shelter. The Parks Commission shall have the authority to issue permits for
36 the exclusive use of an entire County Park. Park and Recreational facilities are
37 reserved on a first-requested, first-reserved basis.

38 C. Application. Applications shall be submitted to the County Clerk at least 30 days
39 prior to the date on which the use is requested. Applicants should be mindful that
40 the Parks Commission does not meet monthly and may need to submit an
41 application for exclusive use of an entire park more than 30 days in advance. The
42 application shall contain the following information:

- 43 1. The name, address and telephone number of the applicant.
44 2. If exclusive uses is proposed for a group, firm, organization, partnership or
45 corporation, the name, address and telephone number of the headquarters of
46 the same and the responsible and authorized officers of the same.
47 3. The name, address and telephone number of the person who will be the
48 responsible party during the event.
49 4. The park or recreational facility being requested for exclusive use
50 5. The date when the exclusive use is requested and the hour of the proposed
51 exclusive use date.
52 6. The anticipated number of person to use the park, area or facility. If more than
53 1000 persons are expected to attend, a separate permit under Ordinance §xx is
54 required.

55 D. Fees and charges.

- 56 1. Deposit. The applicant must deposit [\$ENTER SUM HERE]. If there is no
57 damage and trash is picked-up and properly disposed, the deposit will be
58 returned. If there is damage or trash left behind, the deposit will be forfeited and
59 applied to the costs. Checks will not be negotiated unless the deposit is
60 forfeited.
- 61 2. Applicant is responsible for the pick-up and removal of trash. Applicant is
62 responsible for any damage to park equipment. Any damage to park equipment
63 during Applicant's event will be deducted from the deposit. If trash is not
64 picked-up and removed, the cost of pick-up and removal will be deducted from
65 the deposit. If the deposit does not cover damage or trash removal or both (if
66 applicable) the County may submit the matter to the Corporation Counsel to
67 recover the damage and costs remaining.

68 E. Action on application. The Maintenance Supervisor shall act promptly on all
69 applications for permits. The Parks Commission shall consider applications at its
70 next regularly scheduled or special meeting (if required).

71 F. Reasons for Denial. Applicants may be denied for any of the following reasons:

- 72 1. The proposed use would violate federal, state or local ordinance.
73 2. If the application is missing any information required.
74 3. The application is made less than the required 30 days in advance of the
75 requested exclusive use.
76 4. If the exclusive use of the park or park facility for the requested date and time
77 would seriously affect the anticipated nonexclusive use by others of the park or
78 park facility, e.g. holidays.
79 5. If a permit is required for a large assembly and is not applied for and granted.

80 G. Indemnification/Insurance.

- 81 1. The applicant must provide proof of insurance for a minimum of \$250,000
82 naming the County as an additional insured.
83 2. If the applicant does not have a minimum insurance policy for \$250,000, the
84 applicant, if a non-profit entity, may apply to the County's insurance carrier for
85 "Tenant-User Liability Program", and if approved shall pay the insurance
86 premium and be responsible for paying any deductible under the "Tenant-User
87 Liability Program".

88 H. A permit is not required for a county sponsored activity.

- 89 I. Sale of Alcohol beverages. Is permitted only if a permit is obtained from the
90 municipality in which the park is located, and is subject to all federal laws, state
91 statutes and local ordinances regulating the same. The municipal permit must be
92 submitted with the application required by paragraph C. above.

93 Section 3. Green Lake County Ordinance, Section 187-8-3 is created:

94 187-8.3 Fundraising in County Parks

95 A. Definitions

96 "Fundraise/fundraising" means to collect money or engage in the organized activity
97 of raising funds for a non-profit or by selling merchandise or accepting donations.

98 "Non-profit" means any organization recognized by the Internal Revenue Service as
99 a tax exempt organization under Section 501 (a) and (c) of the Internal Revenue
100 Code, or a group organized for purposes other than generating profit and in which
101 no part of the organization's income is distributed to its members, directors, or
102 officers.

103 "Merchandise" means goods to be sold, including but not limited to food and
104 beverages.

105 B. Sale of merchandise/fundraising

- 106 1. Sale of merchandise is only allowed for the following:
107 a. The concessionaire at Margaret Dodge Memorial Park.
108 2. Fundraising is only allowed for the following:
109 a. Non-profit entities may fundraise provided they comply with §187-8.2.
110 b. Support of the disc golf course at Zobel Memorial Park.

111 Section 4. This ordinance shall become effective upon passage and publication.

112 Section 5. The repeal and recreation of any section herein shall not have any effect on
113 existing litigation and shall not operate as an abatement of any action or proceeding then
114 pending or by virtue of the repealed sections.

115 Section 6. All ordinances and parts of ordinances in conflict herewith are hereby
116 repealed.

Parks & Recreation
Action Plan
2020-2025

Dodge Memorial Park

Continue to improve and add new playground equipment
Replace boat launch area restroom
Add new water fountain water bottle filler station in pavilion
Update-Replace privacy partitions - men's and women's restrooms in pavilion
Install new epoxy floor coating - men's and women's restrooms

Sunset Park

Update-Replace privacy partitions – men's and women's restroom
Create a small safe access area for swimming
Add 2 small units of playground equipment

Twin Lake

Add small post frame shelter

Spring Lake (Valley Park)

Pave launch and parking area
Add small post frame shelter

Spring Lake (Town of Kingston)

Add 1 unit of playground equipment
Resurface parking and launch area

Lake Maria

Replace restroom
Resurface parking and launch area
Add trees

Zobel Park

Add restroom lower park area
Add small post frame shelter lower park area
Replace restroom upper park area

Mascoutin Valley State Trail

Update all signage

Multi-Use Trails (motorized/non-motorized)

Continue to improve existing trail system

Investigate areas for additional multi use trails

In coordination with Highway Department/Townships, investigate areas along state roads, county roads, town roads, possibilities for multi-use trails when feasible

County Wide

Investigate acquisition of land for new parks, nature areas whenever possible

November 04, 2019
Parks & Recreation Committee
Parks & Recreation Department
Quarterly Report

Zobel Memorial Park

Bike rack removed for season
Picnic tables put away for season
Brushing/trimming started will continue work as access and weather permits
Scheduled Maintenance performed
General Maintenance performed

Sunset Park

Daily and Yearly boat launch pass info attached – Thank you Amanda Toney for the excellent work on this. To sum it up we sold less yearly passes and less daily passes than our average.
Parking lot paving completed – 10/22/19 NEA
New parking lot shouldered with $\frac{3}{4}$ " gravel 3 sides 24.27 tons- 10/24/19
Picnic tables put away for season
Dumpster removed for season
Bike rack removed for season
Trash signage removed for season
Launches removed for season 10/29/19
Restroom vault pumped/Restroom vault past inspection 10/01/19
Scheduled Maintenance performed
General Maintenance performed

Twin Lake Park

Picnic tables put away for season
Brushing tree trimming complete
Launch removed for season 10/29/19
Restroom vault pumped/Restroom vault passed inspection 10/01/19
Scheduled Maintenance performed
General Maintenance performed

Spring Valley Park

Picnic tables put away for season
Brushing tree trimming complete
Trash signage removed for season
Restroom vault pumped/Restroom vault passed inspection 10/01/19
Launch removed for season 10/29/19

Scheduled Maintenance performed
General Maintenance performed

Dodge Memorial Park

Remove all interiors of vault toilet to prepare for removal
Restroom scheduled for removal 2nd/3rd week in November weather permitting
Picnic tables put away for season
Trash signage removed for season
Volleyball net removed for season
Brushing tree trimming and old depleted landscaping scheduled for 2nd week in November weather permitting
Replacement restroom info in packet
Pavilion winterized for season
Dumpsters removed for season
Information submitted in packet for launch area restroom
ADA fishing pier removed for season 10/24/19
Launch's removed for season 10/29/19
Scheduled Maintenance performed
General Maintenance performed

Lake Maria Park

Removed all interiors of vault toilet to prepare for removal
Picnic tables put away for season
Replacement restroom info packet
Brushing tree trimming in progress
Scheduled Maintenance performed
3 ton of ¾" gravel added to landing
Restroom holding tank failed inspection restroom scheduled for removal 2nd week in November weather permitting
General Maintenance performed

Kingston Park

Picnic tables put away for season
Volleyball net removed for season
Dumpster removed for season
Brushing tree trimming completed
Scheduled Maintenance performed
General Maintenance performed

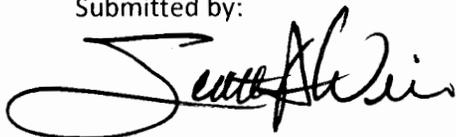
Mascoutin Valley State Trail

Repaired 2 vandalized board walk signs on small section of boardwalk 09/26/19
End section of large boardwalk still scheduled for repair currently 2 feet of water where section is temporarily repaired
Picnic table put away for season

North end of large boardwalk repaired
Final mowing of shoulders performed 09/26/19
Bike rack removed for season
Scheduled Maintenance performed
General Maintenance performed

City of Green Lake Multi Use Path shoulders mowed 09/17/19 final for season

Submitted by:

A handwritten signature in black ink, appearing to read "Scott A. Weir". The signature is stylized with a large, sweeping initial "S" and a cursive "A" and "W".

Scott A. Weir
Maintenance Director
Parks & Recreation director
Green Lake County